

**VILLAGE OF WINDSOR
BOARD RESOLUTION 2016-60**

**APPROVAL OF SITE PLAN FOR
PHASED MULTIFAMILY DEVELOPMENT PROJECT IN WINDSOR CROSSING**

WHEREAS, Windsor Crossing LLC, JSD and Forward Development Group (collectively, "Petitioner") are requesting Site Plan Review and approval for a multi-family and development project located south of the conservancy area, west of US 51 and east of North Towne Road; and

WHEREAS, the Petitioner has submitted a site plan which has been reviewed by Village staff; and

WHEREAS, the Village Planner has reviewed the request and prepared a staff report dated May 9, 2016 (the "Staff Report"), which Staff Report is incorporated by reference; and

WHEREAS, following review of information presented at the meeting held on May 17, 2016 and the Staff Report, the Plan Commission recommended approval as set forth in Plan Resolution 2016-20; and

WHEREAS, the Village Board has reviewed the relevant information and hereby approves the Site Plan, all as set forth herein.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Windsor as follows:

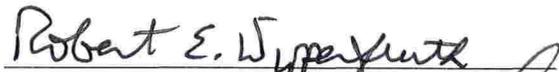
The Village of Windsor Village Board **Approves** the Site Plan Review request for Forward Development Group located at Part of the SE ¼ of the SE ¼ and the SW ¼ of the SE ¼ of Section 29, T9N, R10E, Village of Windsor, Dane County, Wisconsin, subject to the following conditions:

1. The Petitioner shall address the technical comments set forth in the Engineering Comments section of this Staff Review to the satisfaction of the Village Engineer.
2. The Petitioner shall construct the proposed multi-family buildings as illustrated on Plan Sheets A200-A202 and A301 (26-Unit Building Floor Plans & Elevations), and on Plan Sheets A200-A203 and A301 (41 and 47-Unit Building Floor Plans & Elevations) as presented to the Village of Windsor Plan Commission at its meeting on May 17, 2016.
3. The Petitioner shall construct the proposed multi-family buildings on the property as illustrated on Plan Sheets C100-C106 (Pavement ID and Dimension Plans), C200-C206 (Grading and Erosion Control Plans), C300-C306 (Site Utility Plans), and C400-C402 (Site Notes and Details) as presented to the Village of Windsor Plan Commission at its meeting on May 17, 2016.

4. The Petitioner shall install the proposed landscaping on the property as illustrated on Plan Sheets L100-L106 and L200 as presented to the Village of Windsor Plan Commission (Landscape Plan and Landscape Details, Notes, and Specifications) at its meeting on May 17, 2016.
5. The Petitioner shall install the proposed outdoor lighting on the property as illustrated on Plan Sheet E100 and accompanying specification sheets for fixtures A, B, and C as presented to the Village of Windsor Plan Commission at its meeting on May 17, 2016.
6. The Petitioner shall obtain approval of the interior traffic patterns, private roads, and driveways by the DeForest Area Fire & EMS Fire Inspector (or designee). The Petitioner shall comply with any and all recommendations by the Fire Inspector (or designee), including but not limited to, obtaining permits for alarms and sprinkler systems, prior to start of construction.
7. The Petitioner shall obtain approval of the interior traffic patterns, private roads, and driveways by Advanced Disposal (or designee). The Petitioner shall comply with any and all recommendations by Advanced Disposal (or designee) prior to start of construction.
8. The Petitioner shall obtain approval of an Erosion & Sedimentation Control Plan and Stormwater Management Plan by the Village of Windsor, Dane County, and the Wisconsin Department of Natural Resources (WDNR).
9. The Petitioner shall obtain approval of the Construction Plans and Specifications, in a form satisfactory to the Village Engineer and Utility Engineer, for all public improvements prior to construction.
10. The Petitioner shall submit cash payment to the Village of Windsor for Fees for Initial Improvement of Parkland, which cash payment shall be made on a phase-by-phase basis prior to issuance of a building permit for any portion of the phase. The amount of the Fees for Initial Improvement of Parkland shall be calculated pursuant to Section 38-638(e) of the Village of Windsor Code of Ordinances, at the rates in effect when payment is made.
11. The Petitioner shall promptly reimburse the Village of Windsor for all costs and expenses incurred by Windsor in connection with the review and approval of the Site Plan, including, but not limited to, the cost of professional services incurred by the Village of Windsor for the review and preparation of required documents, attendance at meetings or other related professional services.

The above and foregoing Resolution was duly adopted at a meeting of the Village Board of the Village of Windsor on May 17, 2016, by a vote of 5 in favor and 0 opposed.

VILLAGE OF WINDSOR


Robert E. Wipperfurth, President


Bruce Stravinski, Trustee


Monica M. Smith, Trustee


Donald G. Madelung, Trustee


Alan Buchner, Trustee

Attested by:

Tina Butteris, Deputy Village Clerk

Incorporated by Reference:
Staff Report dated May 9, 2016



Staff Review

TO: Village of Windsor Plan Commission
CC: Robert Wipperfurth, Tina Butteris, Amy Anderson Schweppe, Kevin Richardson, Connie Anderson
FROM: Jamie Rybarczyk, Planning Consultant
RPT DATES: May 09, 2016
MTG DATES: May 17, 2016
APRVL DATE: N/A
FOTH FILE: 16W027.01/03
RE: Windsor Crossing – Multi-Family Development Site Plan Review Request

BACKGROUND:

1. Petitioner/Agent: Forward Development Group
2. Property Owner: Village of Windsor CDA
3. Location/Address: Part of the SE ¼ of the SE ¼ and the SW ¼ of the SE ¼ of Section 29, T9N, R10E, Village of Windsor, Dane County, Wisconsin
4. Taxkey Number: N/A
5. Area: 10.82 Acres
6. Existing Zoning: MF-3 Multiple Family Residential District (Village of Windsor)
7. Proposed Zoning: N/A
8. Future Land Use: Transition Residential

OVERVIEW:

The Petitioner is requesting Site Plan Review approval for the Windsor Crossing multi-family development. A preliminary review of the Site Plan was discussed on March 29, 2016 and April 19, 2016. The 4-lot, 10.82-acre Certified Survey Map for the multi-family development was approved by the Village of Windsor on April 19, 2016. The multi-family development construction will be phased over 3 years, with Lot 1 beginning in 2016, Lots 2 and 3 beginning in 2017, and Lot 4 beginning in 2018.

The Petitioner has revised the Site Plan and building architecture for the multi-family development based in part on feedback from the Village. Revisions include:

- A reduction in the total number of units from 244 to 228 to be consistent with the limit established by the Master Plan and Design Guidelines Windsor Crossing Town Center. 6 units have been removed from each of the north and south 3-story apartment buildings, and 2 units have been removed from each of the two-story townhouse buildings along North Towne Road.
- A reduced roof pitch from 8:12 to 6:12 on all buildings to lower the height and reduce the apparent size.
- Removal of stone veneer columns on the 3-story apartment buildings in favor of redistribution of stone veneer throughout the building elevations.
- Revised architectural details to: accommodate the removed units; accentuate the entrances on the 3-story apartment buildings, and to further emphasize smaller building components.

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Staff Review

- A revised clubhouse patio layout that is less rigidly shaped than the previous.
- Revised the grading plan including grading into the ATC easement (approved by ATC) along the eastern edge of the site.

PLANNER COMMENTS:

The preliminary Site Plan application did not include an outdoor lighting plan as required by Chapter 10, Article IX (Site Plan Review) of the Windsor Code of Ordinances. The current application does include a photometric lighting plan and fixture specifications. The lighting plan shows 0.0 foot-candles along all property lines except portions of the west property line along North Towne Road. The only location that slightly exceeds 0.5 foot-candles at the property line is at the central driveway.

The proposed lighting fixtures include:

- Fully-shielded LED luminaires that sits atop a 10' pole for general area lighting of drives, parking, and sidewalks.
- Cylindrical LED wall mounts for 3-story apartment building entrances.
- 15° cut-off LED wall mounts for underground parking entrances.

ENGINEER COMMENTS:

Staff has the following engineering comments regarding the Site Plan for the multi-family development of Windsor Crossing.

1. The Stormwater Management Plan has been previously approved by Dane County Land Conservation and the stormwater detention facilities have been sized to serve the residential plat. Before the drawings are finalized, the Village Engineer will review the calculations for the sizing of the stormwater pipe.
2. The utility layout is subject to the Village of Windsor Utility Engineer's approval.

COMPREHENSIVE PLAN CONSISTENCY:

The Site Plan for the multi-family development of Windsor Crossing is consistent with the Village of Windsor Comprehensive Plan: 2035.

ORDINANCE CONSISTENCY:

The Site Plan for the multi-family development of Windsor Crossing is consistent with the Village of Windsor Land Division Ordinance (Chapter 38), the Village of Windsor Site Plan Review Ordinance (Chapter 10 – Article IX), and the Village of Windsor Zoning Ordinance (Chapter 52).

MASTER PLAN AND DESIGN GUIDELINES WINDSOR CROSSING TOWN CENTER:

The Site Plan for the multi-family development of Windsor Crossing is consistent with the intent of the Master Plan and Design Guidelines Windsor Crossing Town Center.

STAFF RECOMMENDATION:

Depending on confirmation by the Village of Windsor Plan Commission of the above described comments, the Village of Windsor Plan Commission may take the following action:

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Staff Review

The Village of Windsor Plan Commission recommends to the Village of Windsor Board **Approval** of the Site Plan Review request for Forward Development Group located at Part of the SE $\frac{1}{4}$ of the SE $\frac{1}{4}$ and the SW $\frac{1}{4}$ of the SE $\frac{1}{4}$ of Section 29, T9N, R10E, Village of Windsor, Dane County, Wisconsin, subject to the following conditions:

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10. The Petitioner shall submit cash payment to the Village of Windsor for Fees for Initial Improvement of Parkland, which cash payment shall be made on a phase-by-phase basis prior to the release of lots from the required Transfer Restrictions. The amount of the Fees for Initial Improvement of Parkland shall be calculated pursuant to Section 38-638(e) of the Village of Windsor Code of Ordinances, at the rates in effect when payment is made.
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EXHIBIT:

- A. Petitioner Application

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Memorandum

www.jsdinc.com

To: Amy Anderson Schweppe, Village of Windsor Planning and Development Coordinator
Jamie Rybarczyk, Village Planner

From: Kevin Yeska, Senior Landscape Architectural Designer
Rachel Holloway, Planner

Re: Windsor Crossing Multifamily Site Plan

JSD Project #: 15-7027

Date: April 29, 2016

cc: Ron Henshue, Forward Development Group LLC

On behalf of Windsor Crossing, LLC, JSD Professional Services, Inc. and Forward Development Group (FDG) submit the enclosed application materials for the redesign of the multifamily residential site in the Windsor Crossing development. The submittal consists of a Site Plan submittal intended to meet the ordinance standards in the Village's Chapter 10 Building Regulations code and the Chapter 52 Zoning code residential standards, which were recently adopted by the Village.

The applicant team met with Village staff for a pre-application conference for the entire Windsor Crossing development on December 1, 2015; presented conceptual plans at the CDA, Plan Commission, and Village Board in January 2016; and obtained Plan Commission and Village Board approval of a CSM to create the 10.8-acre multifamily lot on January 25, 2016. We presented conceptual plans to the Plan Commission and Village Board on March 29, 2016 for a new CSM to further subdivide the multifamily site, and a conceptual Site Plan for the development. After obtaining the Village's feedback and making revisions, we submitted on April 7th a CSM and Site Plan for a public hearing and Plan Commission and Village Board action on April 19th. At the April 19th meeting, the Village approved the CSM; action on the Site Plan was postponed until legal documents (covenants and restrictions, developer's agreements) could be further developed. FDG and JSD Professional Services, Inc. have worked with Village Staff to make progress on these legal documents and now submit a new plan set for action at the May 17th Plan Commission and May 19th Village Board meetings.

The following pages contain a description of the Site Plan proposed for the multifamily residential site.

OVERVIEW

The vision of Windsor Crossing LLC is to create an attractive, vibrant and complete "Town Center" neighborhood at an appropriate scale for this location – a place where people can live and enjoy easy access to nearby destinations and have the convenience of nearby (walkable) retail, services, schools, and recreation. The revised concept plan, CSMs, and single-family Replat proposed in December and January built upon the original land development and infrastructure plans with the objective of improving accessibility, circulation and walkability of the neighborhood, enhancing the natural characteristics of the extensive open space, and accommodating the recently completed and expanded stormwater management infrastructure. The developer believes that these modifications have established the foundational elements which will make Windsor Crossing an attractive and contemporary neighborhood.

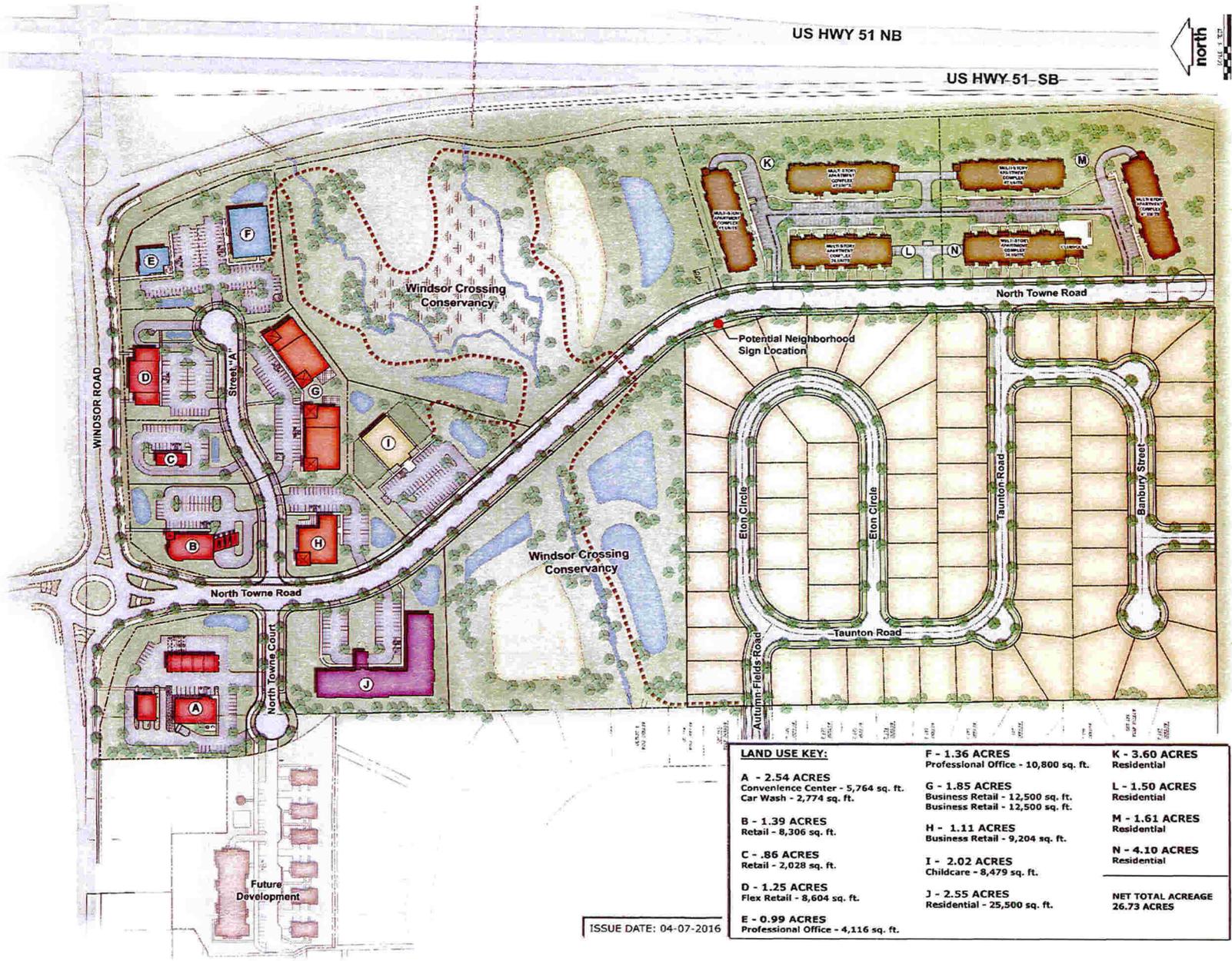
When completed, the multifamily residential site is envisioned to be an attractive suburban development with 228 residential units set in two 2-story townhome style buildings along North Towne Road and four 3-story multiplex buildings on the eastern, southern, and northern sides of the site along Highway 51. Since our initial concept submittal the building footprints and unit counts have reduced on the north and south buildings (now 41 units each), and the two western "townhouse" buildings (now 26 units each), for a total of 228 dwelling units.

This 10.8-acre site will be a key component of the larger suburban mixed use, Windsor Crossing neighborhood which will also contain 74 single-family home sites, a modestly sized elderly/continuum care facility, and a variety of retail and service businesses, all surrounding a 20-acre restored natural area conservancy.

Changes made from the concept plans presented in March in response to Plan Commission and Village Board feedback are as follows:

- Building footprints and unit counts reduced on the north and south buildings (now 41 units each), and the two western “townhouse” buildings (now 26 units each), for a total of 228 dwelling units;
- Architectural refinements that include:
 - Reduction in roof pitch/height to reduce apparent size of all buildings;
 - Changes in the placement of colors for siding and entryway canopies, as well as additions of horizontal straw-colored trim, to enhance views and further break up façade walls;
 - Additional architectural elements have been added to the entrance ways to allow them to stand out from the rest of the building’s façade on the 41 and 47 unit buildings.
 - A new, more organic patio layout has been proposed around the south and east sides of the clubhouse building extension. This area will provide residents with a fun, community based activity space and will be treated with a heavy amount of landscaping for buffer purposes.
 - Raised brick in key areas, to emphasize entryways and de-emphasize height.
- Grading plan changes that include grading into the ATC easement (approved by ATC on 4/7/16).





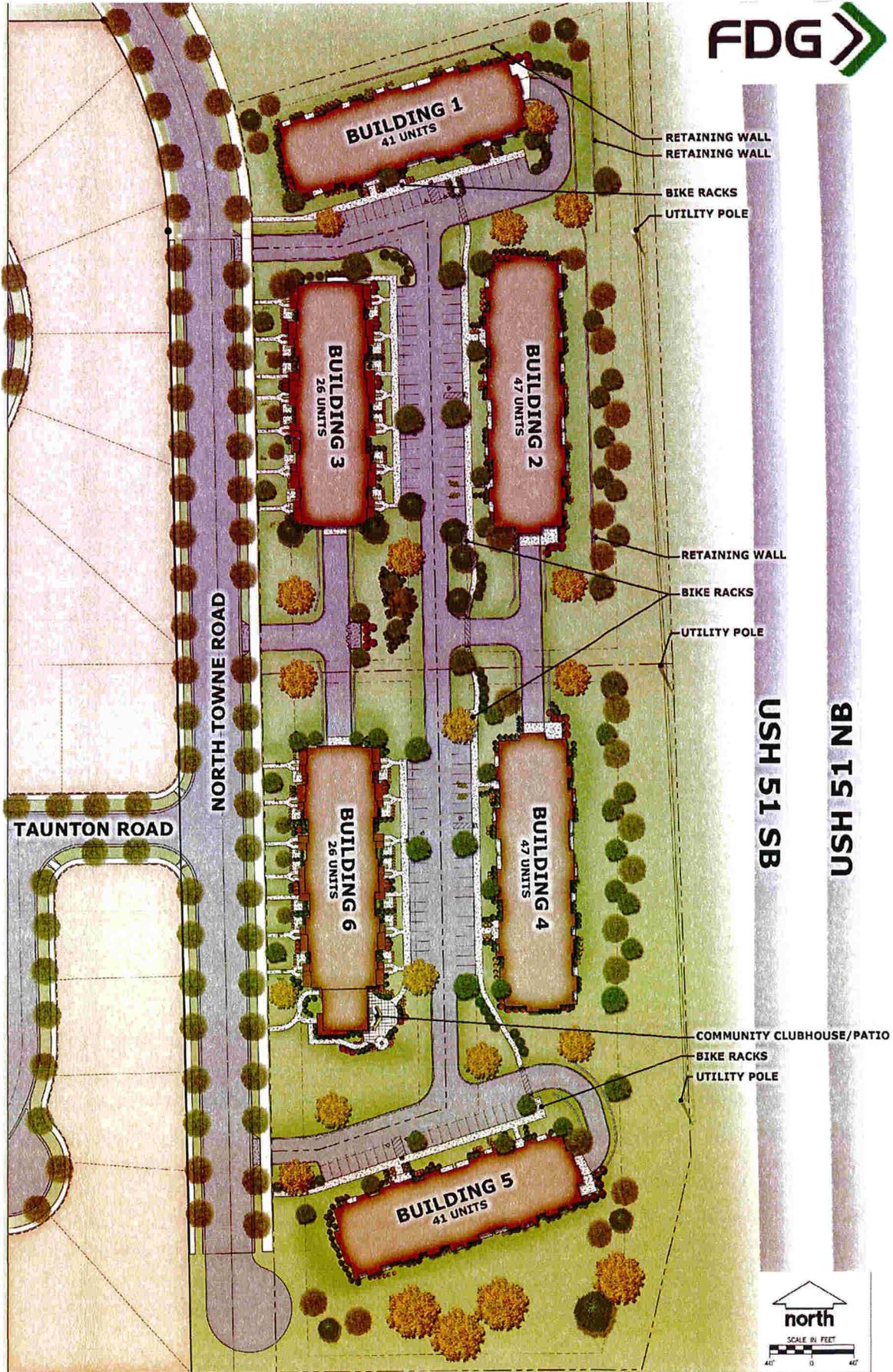
LAND USE KEY:

A - 2.54 ACRES Convenience Center - 5,764 sq. ft. Car Wash - 2,774 sq. ft.	F - 1.36 ACRES Professional Office - 10,800 sq. ft.	K - 3.60 ACRES Residential
B - 1.39 ACRES Retail - 8,306 sq. ft.	G - 1.85 ACRES Business Retail - 12,500 sq. ft. Business Retail - 12,500 sq. ft.	L - 1.50 ACRES Residential
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D - 1.25 ACRES Flex Retail - 8,604 sq. ft.	I - 2.02 ACRES Childcare - 8,479 sq. ft.	N - 4.10 ACRES Residential
E - 0.99 ACRES Professional Office - 4,116 sq. ft.	J - 2.55 ACRES Residential - 25,500 sq. ft.	NET TOTAL ACREAGE 26.73 ACRES

ISSUE DATE: 04-07-2016

WINDSOR CROSSING
 COMPREHENSIVE MASTER
 VILLAGE OF WINDSOR, WI
FOR CLASSING PURPOSES ONLY

FDG Professional Services, Inc.
 Engineers • Surveyors • Planners



PROJECT DESCRIPTION

The proposed development encompasses approximately 10.8 acres in total area and provides the following features:

- Four (4) developable lots with frontage on North Towne Road to enable phased development and construction over 4 years (see approved CSM and proposed Phasing Plan);
- Building architecture that is compatible with the suburban location and with nearby single-family homes, and that provides visual continuity, and creates a smooth visual transition between the larger apartment buildings and the single-family neighborhood to the west (see proposed Site Plan and Building Elevations);
- Outdoor stoops, balconies, and patio areas to create meaningful and active public places in line with the original vision in the original Windsor Crossing Master Plan;
- Underground parking for each building, plus additional surface parking, all accessible by shared driveways;
- Site landscaping to enhance the individual buildings, the streetscape along North Towne Road, and the area between the residential buildings and the highway ROW (see Landscape Plan);
- Convenient and safe pedestrian access within the site, as well as to the multi-use path along the east side of North Towne Road and the regional trail network that runs through the conservancy area.

The site is located in the southeastern corner of the Windsor Crossing development, between North Towne Road and US Highway 51. It is north of the Acker farmstead and south of the 20-acre Village-owned conservancy area that contains open space and over 3,500 lineal feet of walking paths.

The site's unique characteristics include relatively steep topography that rises approximately 30 feet in elevation from the north end to the south property line, and approximately 19 feet from east to west. The general aspect of the terrain faces northwesterly. On the eastern side abutting Highway 51, development is subject to a 30-foot landscape buffer easement, an ATC utility easement for overhead power lines, and a 42-foot building setback that was established by the original Windsor Crossing Plat and included on the most recent CSM. In addition, the 2008 Noise Study prepared by the Department of Transportation for the Highway 51 expansion project advised a 130-foot building setback from the highway pavement edge. These, together with project financing considerations, comprise the primary challenges to the site's development.

CONSISTENCY WITH VILLAGE COMPREHENSIVE PLAN AND ZONING

The proposed site plan reflects a neighborhood that will be very similar to the one reflected in the original *Windsor Crossing Master Plan and Design Guidelines* dated April 7, 2011 (hereafter referred to as "Master Plan"). The 2011 Master Plan was at one time part of Windsor's Comprehensive Plan, and continues to serve as a reference in planning for individual sites. This proposal strives to achieve the Village's original objectives for the development, including:

- Creating a vibrant, diverse, sustainable, attractive and safe Town Center;
- Creating meaningful and active public places and streets, along with an interactive social environment;
- Ensuring that the development character compliments existing uses and the scale of neighboring development;
- Allowing flexibility in the creation of specific designs to meet both current and future market and economic realities;
- Creating and maintaining optimal economic and social value over time.

Compared to the original concept approved in the 2011 Master Plan and 2013 Windsor Crossing Plat, the site available for multifamily residential development is smaller (10.8 acres compared to 12.7 acres) due to the area that was needed to build the regional stormwater facilities that serve the entire Windsor Crossing development.

The proposed multifamily site would have four lots instead of the original five, with the units spread over more buildings that are smaller in size than those suggested by the former plan.



The 2011 Windsor Crossing Master Plan indicated that adjustments may be needed to development plans in response to market conditions and the needs of specific site users – this included building footprints, parking and circulation areas, and pedestrian facilities. The 2011 Master Plan indicated an average expected density of 15 to 18 units per acre for the multifamily residential site; this proposal has an overall density of 21+/- units per acre. In previous Plan Commission and Village Board meetings this year, the Village indicated support for up to 24 units per acre within the multifamily portion of the development. At the same time, all parties acknowledged the need for a land division (to enable phased land acquisition), site plan review approval, and the release of certain restrictions in the current Windsor-DeForest boundary agreement in order for the project to proceed.

The land is currently zoned for multifamily residential under the Village's new MF-3 multifamily zoning district. The site plan is being submitted for review and comment based on the guidelines in the former Master Plan, and the Village's new MF-3 zoning standards, with the intent to have it vetted and approved in May, with additional site plan approvals as needed for future phases.

The proposed site plan incorporates the following guidelines from the 2011 Master Plan, and makes improvements made wherever possible:

- Building design and placement
 - 3-story buildings sited on higher ground where topography enables underground parking;
 - Setbacks to provide generous green space, landscaping, and active pedestrian and seating areas;
 - Ample space between buildings and Hwy 51 that provides a landscape buffer and preserves existing utility easements;
 - Strong visual continuity from one building to the next;
 - Shared service and loading areas are located between buildings or on sides, rather than facing public streets or parking lots. Shared refuse services for the 41 and 47 complexes are enclosed

- underground for ease of access for residents while providing a “hidden” appearance from the exterior of the building.
- Four-sided architecture that is attractive from all sides, uses high quality materials, and displays continuity of design;
- Facades with articulation and elements such as deep eaves, recessed balconies, and covered entryways, in order to provide visual rhythm and a sense of depth;
- Careful use of varied materials and colors to mitigate the dominance of large facades.
- Site access and parking
 - All site access will be from North Towne Road, with shared driveway placement that minimizes the number of access points on this collector street and maximizes pedestrian safety;
 - Parking areas located behind and on sides of buildings, as interconnected “internal parking courtyards”, to minimize the visual impact of parking for the public and surrounding neighbors;
 - Pedestrian connections to the multi-use path along the east side of North Towne Road, to enable easy pedestrian access to the regional trail network and nearby destinations;
- Landscaping and aesthetics
 - Landscaping that enhances all buildings and entries, defines outdoor spaces, and screens unattractive features such as dumpsters and loading areas;
 - Plantings define parking areas as public places, not just at the edges;
 - Plantings include a variety of species and sizes. A wide range of perennials and ornamental grasses to large deciduous and evergreen trees assist by enhancing the site and accent the proposed architecture of the buildings;
 - A variety of native plantings provide consistency with the native plant palette of Wisconsin;
 - Landscaping matches geometric pattern of surrounding buildings and street edges.

The proposed site plan complies with the standards in Windsor’s Chapter 10 Buildings and Building Regulation ordinance, and has been designed to comply with the Village’s MF-3 “Multiple Family Residential” district regulations. This includes the following site plan specifications:

- 30’ front yard building setbacks along North Towne Road;
- Side yard setbacks of at least 10’ for 2-story buildings, 15’ for 3-story buildings;
- Rear yard setbacks greater than the minimum 30’;
- Maximum 4-story building height for multiple family buildings;
- A site lighting plan intended to meet Village building and zoning ordinance requirements.

Proposed Public Improvements, Phasing, and Ownership

The development is proposed to be owned by Forward Development Group, LLC, and professionally managed. Construction is anticipated over four years, with the first phase consisting of Lot 1 of the proposed CSM and two buildings with 41 and 47 units, respectively. The next phases would be built as shown on the attached Phasing Plan, with construction anticipated to be completed in 2019, and site plan approvals done in phases in line with the pending development agreement with the Village.

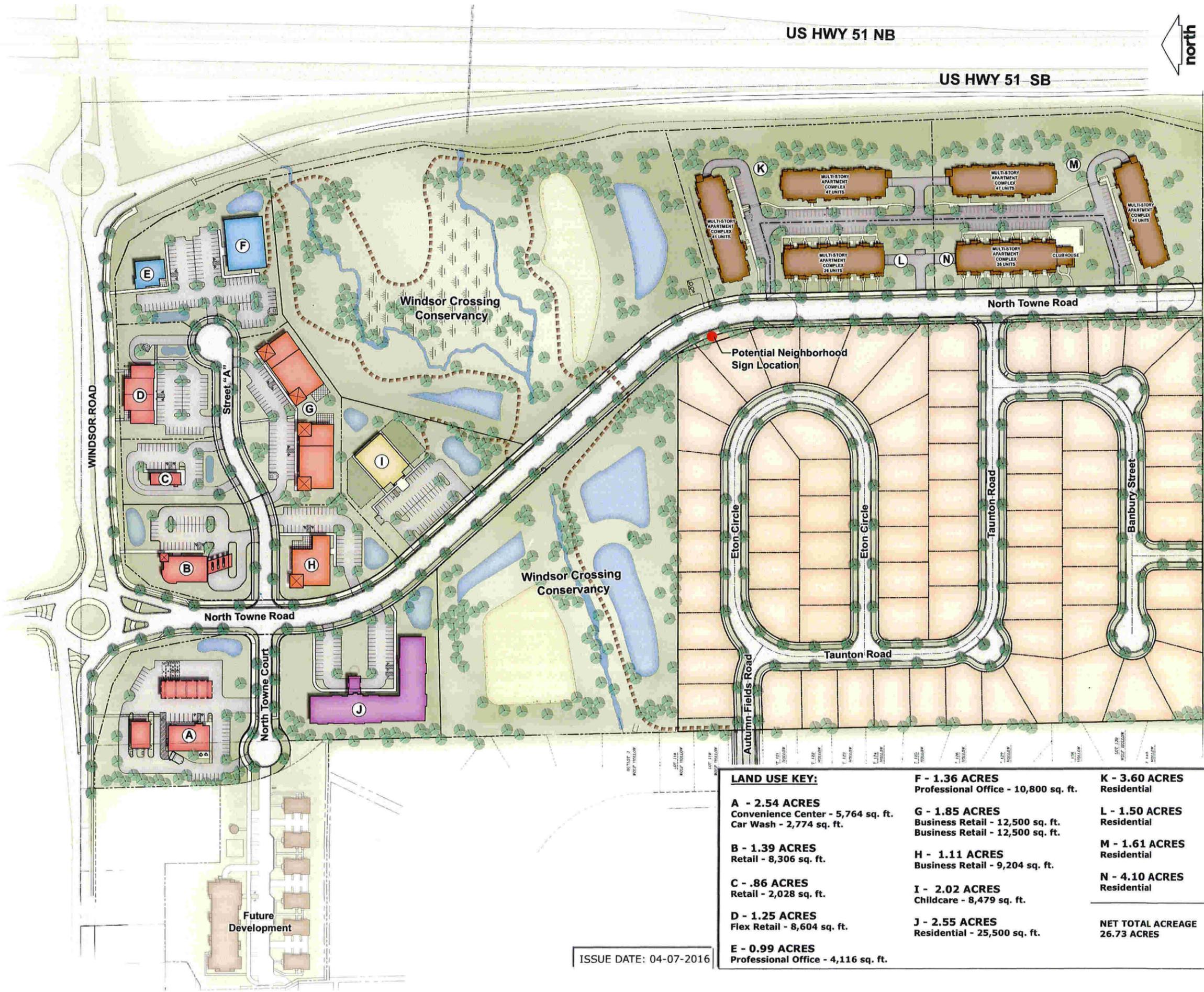
During Phase 1, the developer will work with the Village to relocate and install utilities as needed where North Towne Road terminates in a cul-de-sac, and North Towne Road will be extended to reach Taunton Road and the first phase of the single-family subdivision. Internal driveways, parking areas, and utilities on the multifamily site will be constructed in phases based on Village ordinances and public safety requirements. In addition to underground and surface vehicle parking, each building would be equipped with bike racks for bike parking.

The site will be served by public sanitary sewer and water. Sewage will be routed via gravity sewers outletting to North Town Road sanitary sewers. A public sanitary sewer will be constructed in an easement to serve

buildings on the east side of the site. Water service for fire suppression of the future multi-story residential buildings will be provided with the use of a booster pump to be installed by the Village. A water main will ultimately be looped through the site. Phased construction may have a dead-end main with a temporary hydrant.

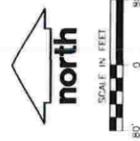
Stormwater will be routed through to North Towne Road via the 20' stormwater easement shown on the proposed CSM, routed through the conservancy area. Approximately 70% of the site drainage will outlet directly to the basin from the south; the remaining 30% will be routed through the North Towne Road storm sewer to the northeast basin, per the approved stormwater management plan.

We look forward to your review and feedback of our proposal, and to working with you to make this an attractive and successful development for the Village.



US HWY 51 NB

US HWY 51 SB



Windsor Crossing Conservancy

Windsor Crossing Conservancy

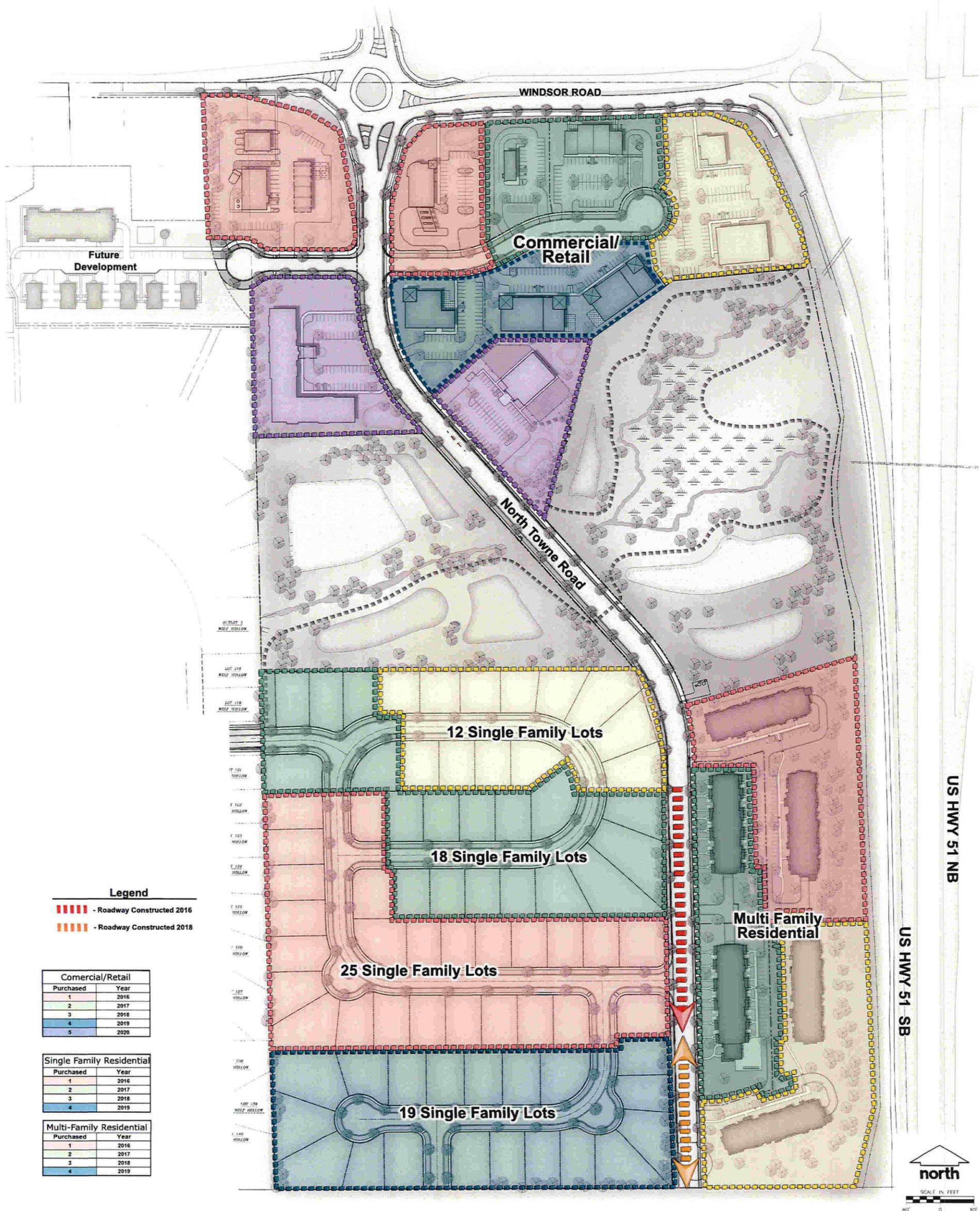
Potential Neighborhood Sign Location

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WINDSOR CROSSING

PHASING PLAN
VILLAGE OF WINDSOR, WI
REVISED: 03/02/16

FOR PLANNING PURPOSES ONLY

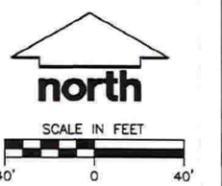


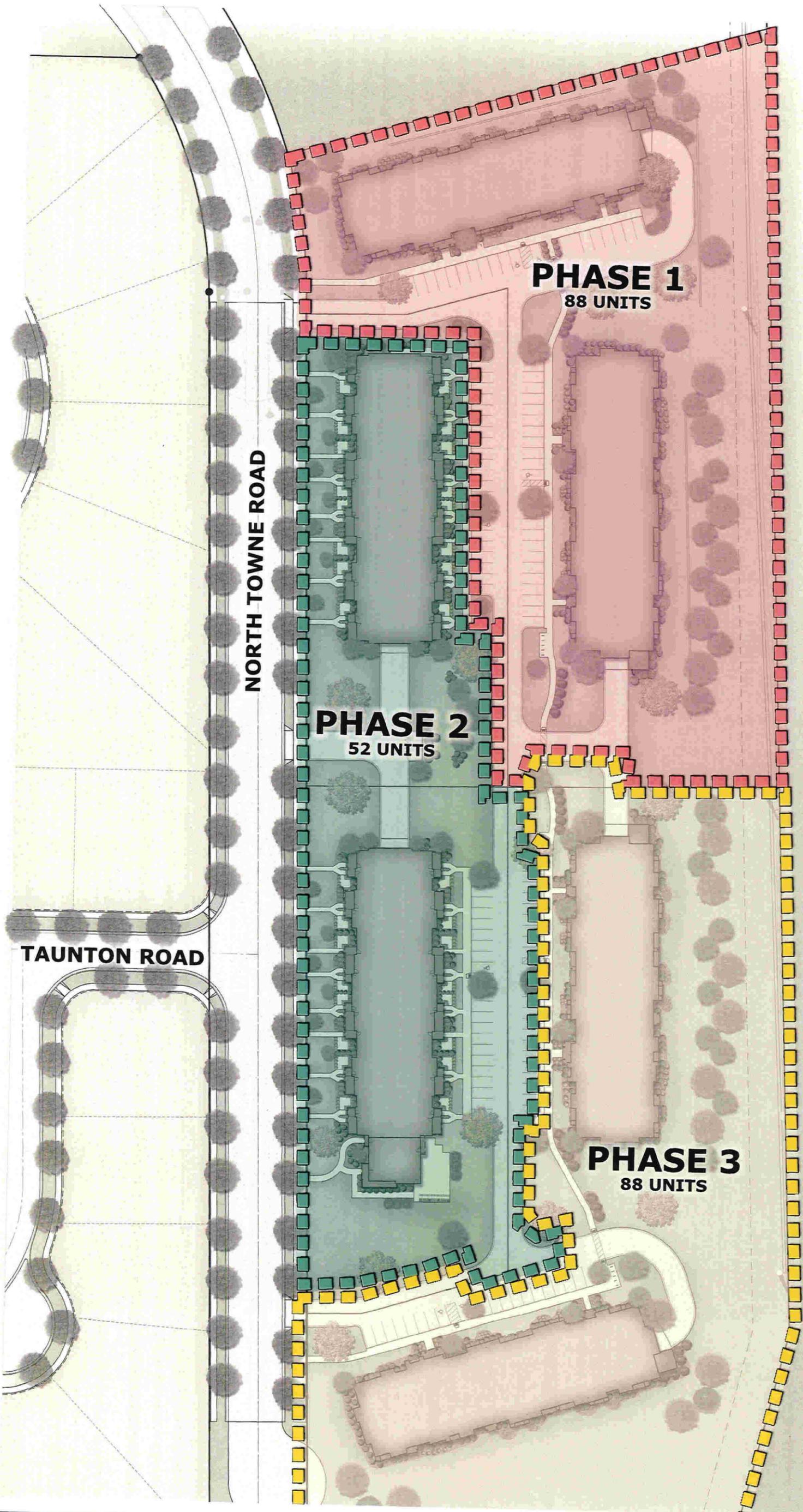
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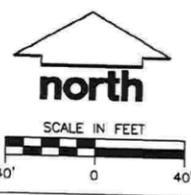
BN 15 HSN
USH 51 SB





USH 51 SB

USH 51 NB



WINDSOR CROSSING

Location: Windsor, Wisconsin

Date: 04.07.16

MULTI-FAMILY PHASING PLAN



April 29, 2016

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FDG Windsor - 3 Story
Concept image





April 29, 2016

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FDG Windsor - 2 Story
Concept image



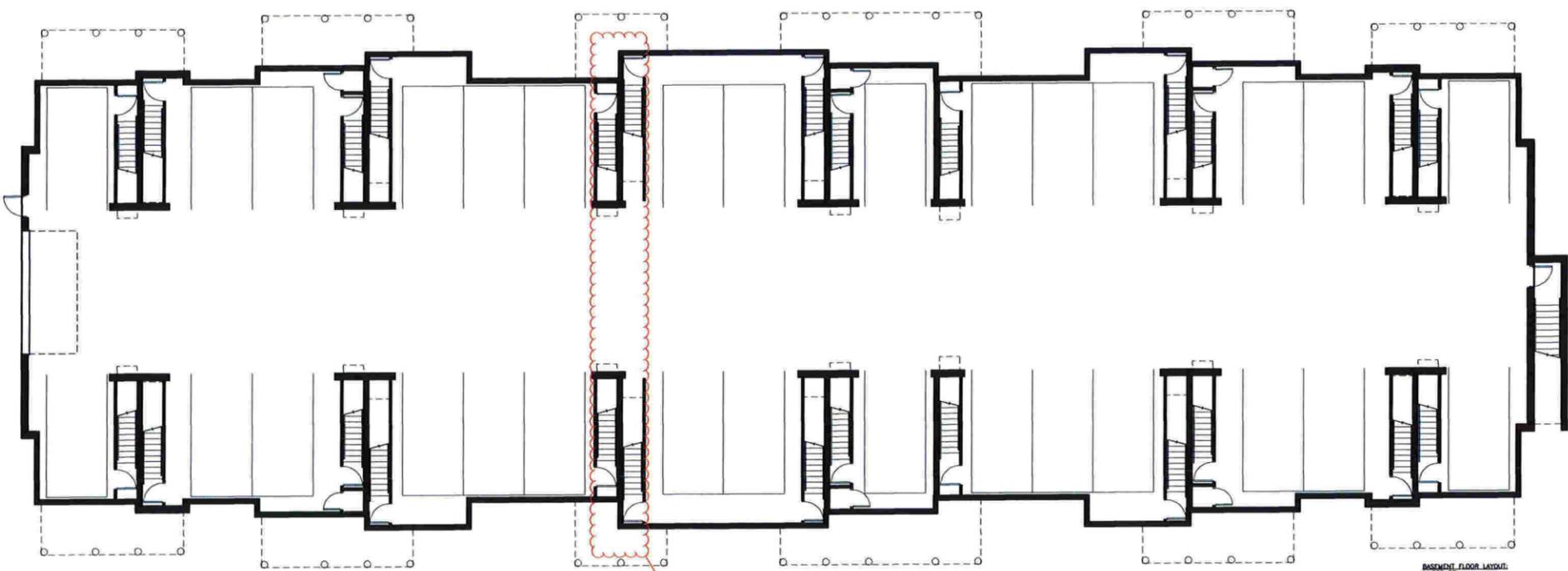


April 29, 2016

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FDG Windsor - Clubhouse
Concept image





BASEMENT FLOOR LAYOUT
14,233 SF
30 TOTAL PARKING STALLS (9'x18')

Two Units removed from this portion of the building in turn causing the removal of 2 parking stalls.

1 BASEMENT FLOOR PLAN
A200 SCALE: 1/8" = 1'-0"

WINDSOR CROSSING MULTI-FAMILY
NORTH TOWN ROAD
VILLAGE OF WINDSOR, WISCONSIN

FORWARD DEVELOPMENT GROUP
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593

ISSUE DATES:
WINDSOR RESBTL: 04-07-16
WINDSOR RESBMTL: 04-29-16

RF/ISI DATE:

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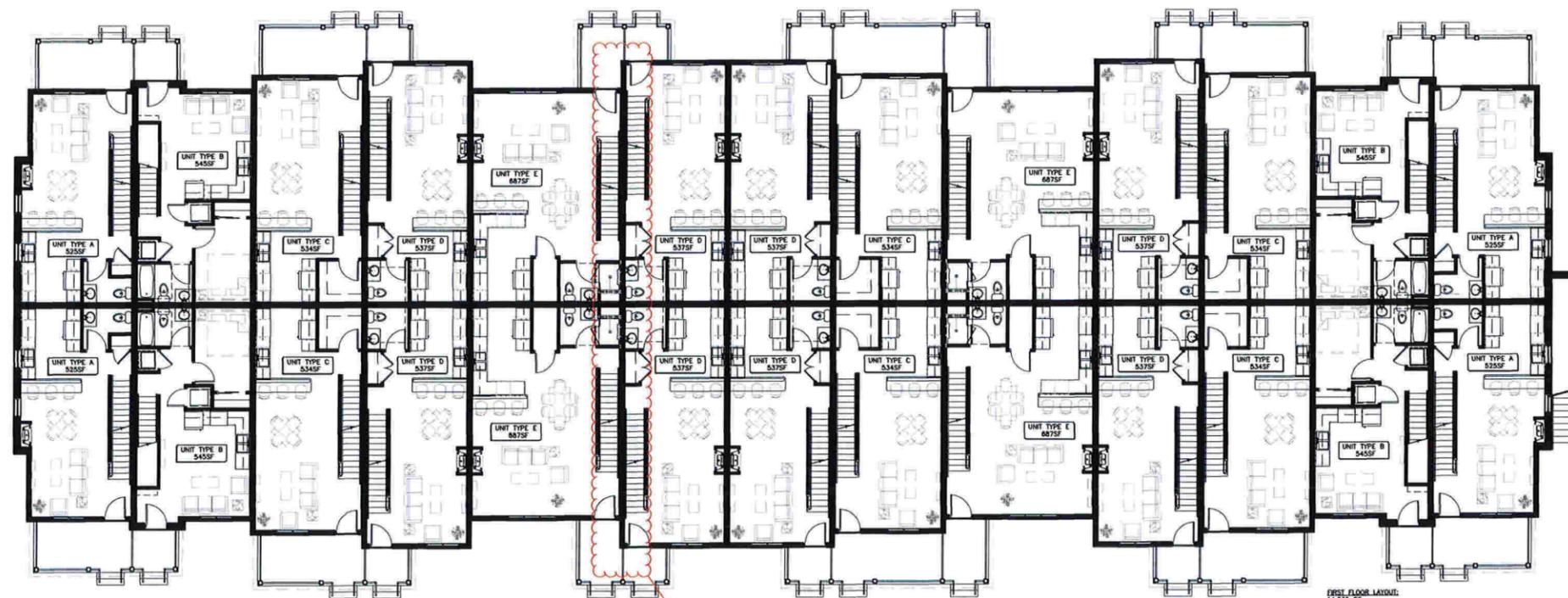
PROJECT #: 20160220
SHEET NUMBER

A200

WINDSOR CROSSING MULTI-FAMILY

NORTH TOWN ROAD
VILLAGE OF WINDSOR, WISCONSIN

FORWARD DEVELOPMENT GROUP
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593



Two Units removed
from this portion of the
building

- FIRST FLOOR LAYOUT:
14,233 SF
- 4 - 2 BEDROOM/3 BATH UNITS (UNIT A)
 - 4 - STUDIO (UNIT B)
 - 6 - 1 BEDROOM/1BATH UNITS (UNIT C)
 - 8 - 1 BEDROOM/2 BATH UNITS (UNIT D)
 - 4 - 3 BEDROOM/2 BATH UNITS (UNIT E)
 - 26 TOTAL UNITS

1 FIRST FLOOR PLAN
A201 SCALE: 1/8" = 1'-0"

ISSUE DATES:
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WINDSOR RESBMTL: 04-29-16

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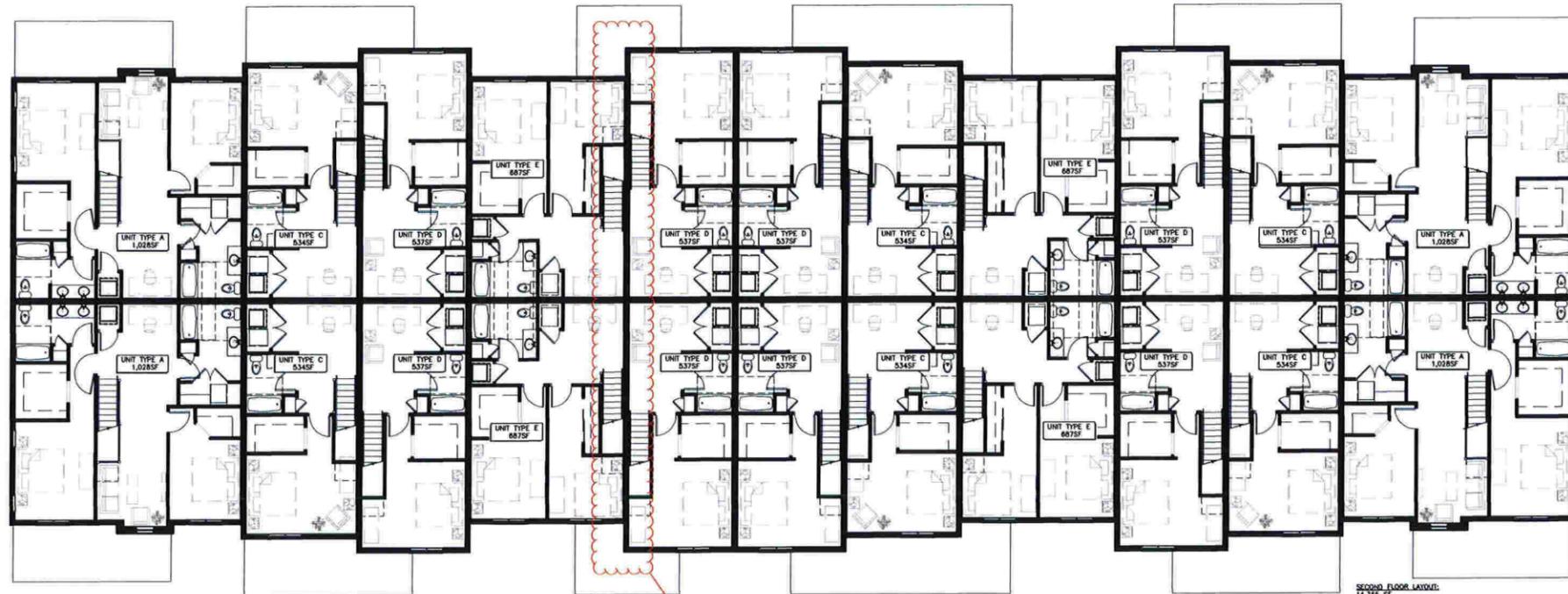
PROJECT #: 20160220
SHEET NUMBER

A201

WINDSOR CROSSING MULTI-FAMILY

1000 OAK HILL ROAD
NORTHBROOK, WISCONSIN

FORWARD DEVELOPMENT GROUP
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593



Two Units removed
from this portion of the
building

SECOND FLOOR LAYOUT:
14,365 SF
4 - 2 BEDROOM/3 BATH UNITS (UNIT A)
6 - 1 BEDROOM/1 BATH UNITS (UNIT C)
6 - 1 BEDROOM/2 BATH UNITS (UNIT D)
4 - 2 BEDROOM/2 BATH UNITS (UNIT E)
22 TOTAL UNITS

1 SECOND FLOOR PLAN
A202 SCALE: 1/8" = 1'-0"

ISSUE DATES:
WINDSOR RESBTL 04-07-16
WINDSOR RESBMTL 04-29-16

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PROJECT #: 20160220
SHEET NUMBER

A202

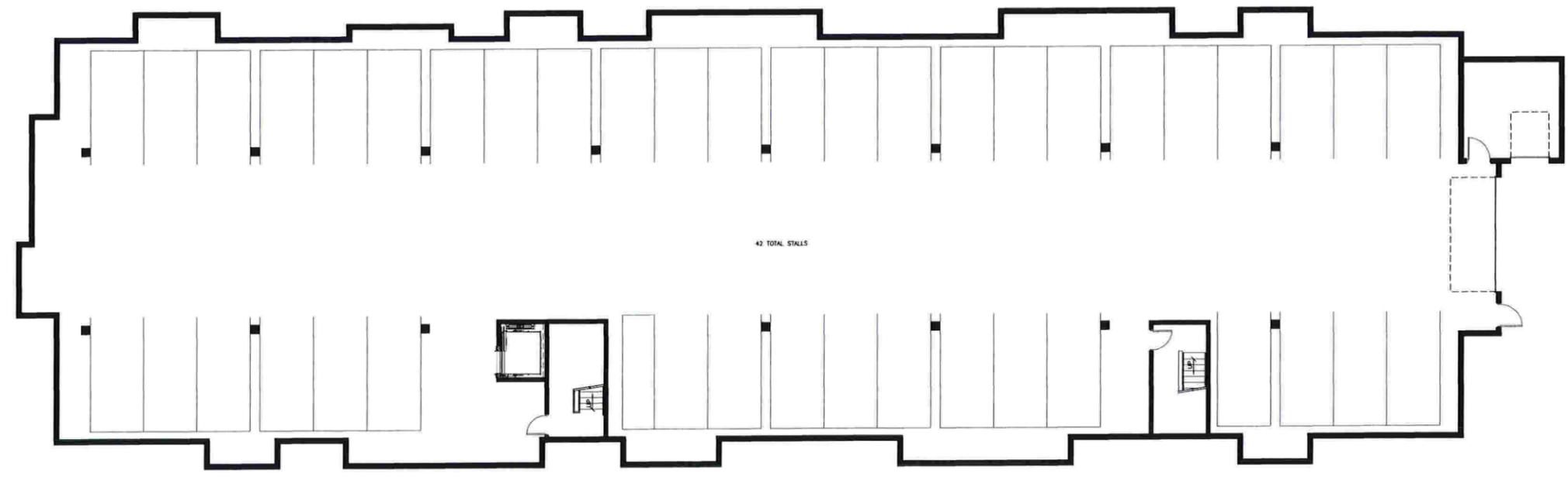


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WINDSOR CROSSING MULTI-FAMILY

NORTH TOWN ROAD
VILLAGE OF WINDSOR, WISCONSIN

FORWARD DEVELOPMENT GROUP
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593



42 TOTAL STALLS

GARAGE LEVEL LAYOUT:
15,732 SF

1 PARKING GARAGE FLOOR PLAN - 41 UNIT
A200 SCALE: 1/8" = 1'-0"

ISSUE DATES:
WINDSOR RESBMTL: 04-07-16
WINDSOR RESBMTL: 04-28-16

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PROJECT #: 20151110
SHEET NUMBER

A200



FIRST FLOOR LAYOUT:
15,604 SF

- 1 - STUDIO'S
- 7 - 1 BEDROOM/1BATH UNITS
- 1 - 1 BEDROOM/1 BATH/OPEN UNITS
- 4 - 2 BEDROOM/2 BATH UNITS
- 13 TOTAL UNITS

1 FIRST FLOOR PLAN - 41 UNIT
A201 SCALE: 1/8" = 1'-0"

WINDSOR CROSSING MULTI-FAMILY

NORTH TOWN ROAD
VILLAGE OF WINDSOR, WISCONSIN
FORWARD DEVELOPMENT GROUP
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593

ISSUE DATES:
WINDSOR RESBMTL: 04-07-16
WINDSOR RESBMTL: 04-29-16

RFISI DATE:

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PROJECT #: 20151110
SHEET NUMBER

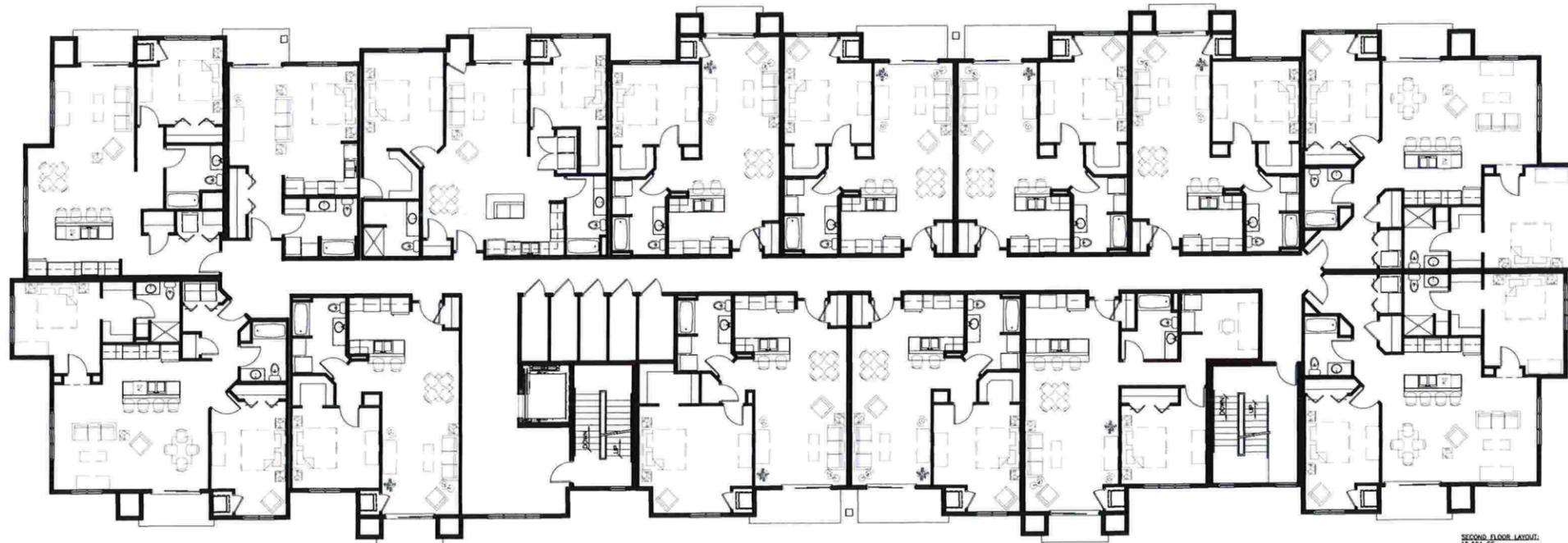
A201

WINDSOR CROSSING MULTI-FAMILY

NORTH TOWN ROAD
VILLAGE OF WINDSOR, WISCONSIN

FORWARD DEVELOPMENT GROUP

161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593



SECOND FLOOR LAYOUT:
15,604 SF

- 1 - STUDIO'S
- 8 - 1 BEDROOM/1 BATH UNITS
- 1 - 1 BEDROOM/1 BATH/DEN UNITS
- 4 - 2 BEDROOM/2 BATH UNITS
- 14 TOTAL UNITS

1 SECOND FLOOR PLAN - 41 UNIT
A202 SCALE: 1/8" = 1'-0"

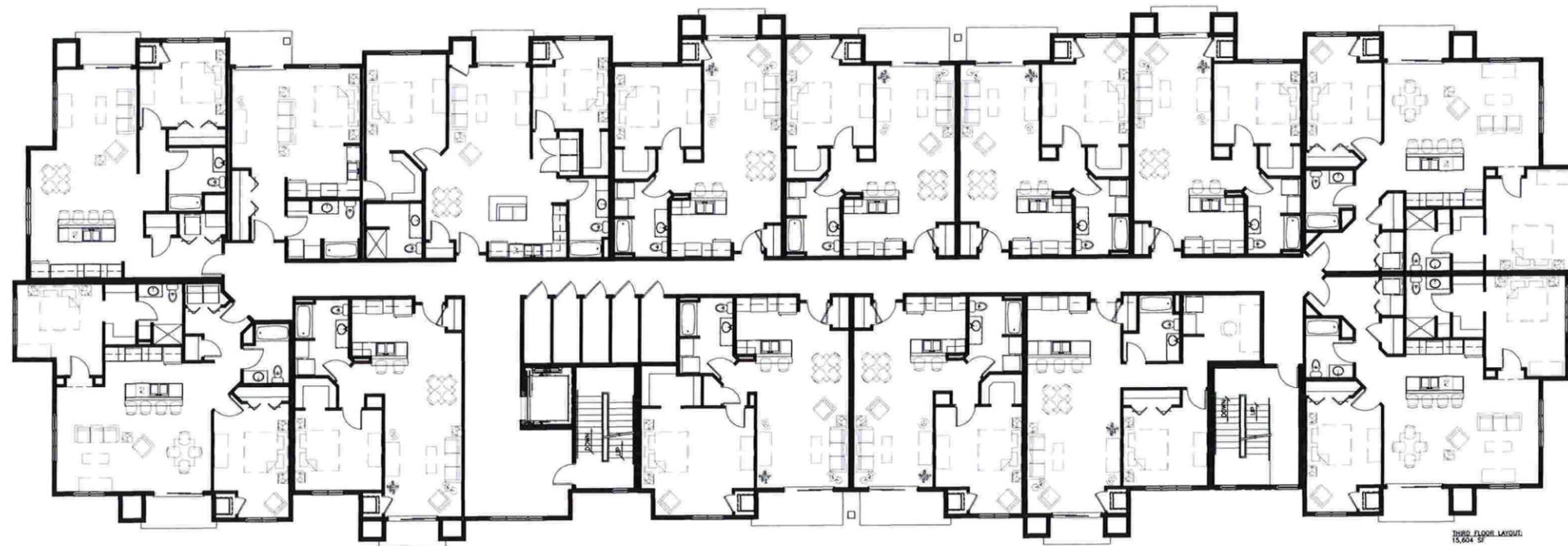
ISSUE DATES:
WINDSOR RESBMTL: 04-07-16
WINDSOR RESBMTL: 04-29-16

RFUSI DATE:

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PROJECT #: 20151110
SHEET NUMBER

A202



THIRD FLOOR LAYOUT:
15,604 SF
1 - STUDIO'S
8 - 1 BEDROOM/1 BATH UNITS
1 - 1 BEDROOM/1 BATH/DEN UNITS
4 - 2 BEDROOM/2 BATH UNITS
14 TOTAL UNITS

1 THIRD FLOOR PLAN - 41 UNIT
A203 SCALE: 1/8" = 1'-0"

WINDSOR CROSSING MULTI-FAMILY

NORTH TOWN ROAD
VILLAGE OF WINDSOR, WISCONSIN

FORWARD DEVELOPMENT GROUP
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593

ISSUE DATES:
WINDSOR RESBMTL: 04-07-16
WINDSOR RESBMTL: 04-29-16

RF/ISI DATE:

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PROJECT #: 20151110
SHEET NUMBER

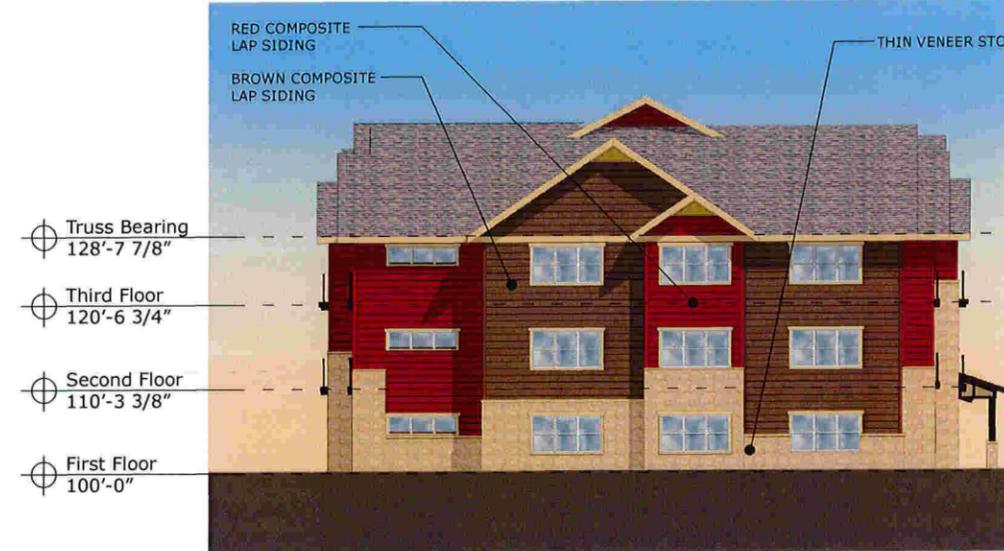
A203



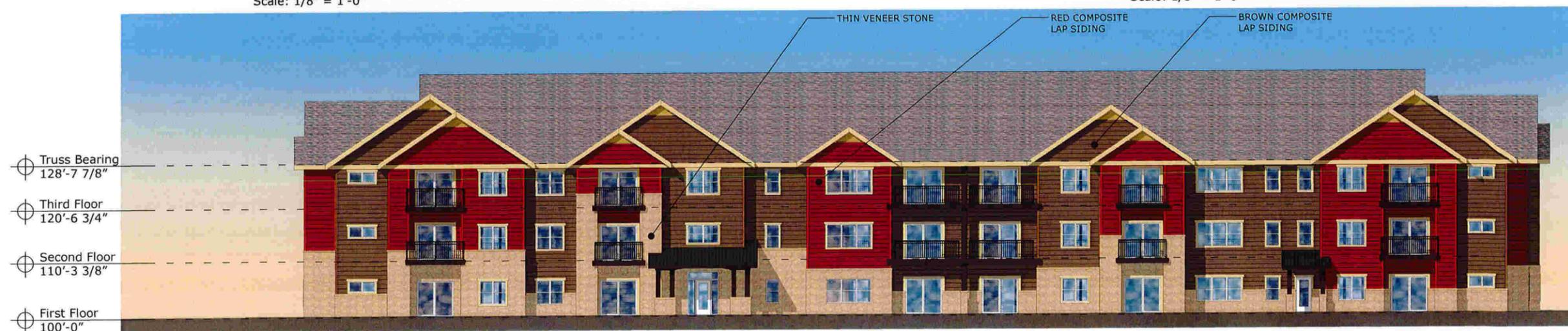
North Elevation - 41 Unit
Scale: 1/8" = 1'-0"



East Elevation - 41 Unit
Scale: 1/8" = 1'-0"



West Elevation - 41 Unit
Scale: 1/8" = 1'-0"



South Elevation - 41 Unit
Scale: 1/8" = 1'-0"



THIN VENEER STONE
BUECHEL STONE CORP.
FONDULAC RUSTIC



COMPOSITE LAP SIDING
LP SMART SIDE
ROCKWOOD DARK BROWN
SW2808



COMPOSITE LAP SIDING
LP SMART SIDE
ROCKWOOD RED
SW2802



TRIMS & SOFFITS
DOWNING STRAW
SW 2813



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Ph: 608.834.3300 or 800.864.3333
iconica@iconica.com

WINDSOR CROSSING MULTI-FAMILY

VILLAGE OF WINDSOR, WISCONSIN
NORTH TOWN DRIVE
FORWARD DEVELOPMENT GROUP
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593

ISSUE DATES:
WINDSOR RESEMTL 04-07-16
WINDSOR RESEMTL 04-29-16

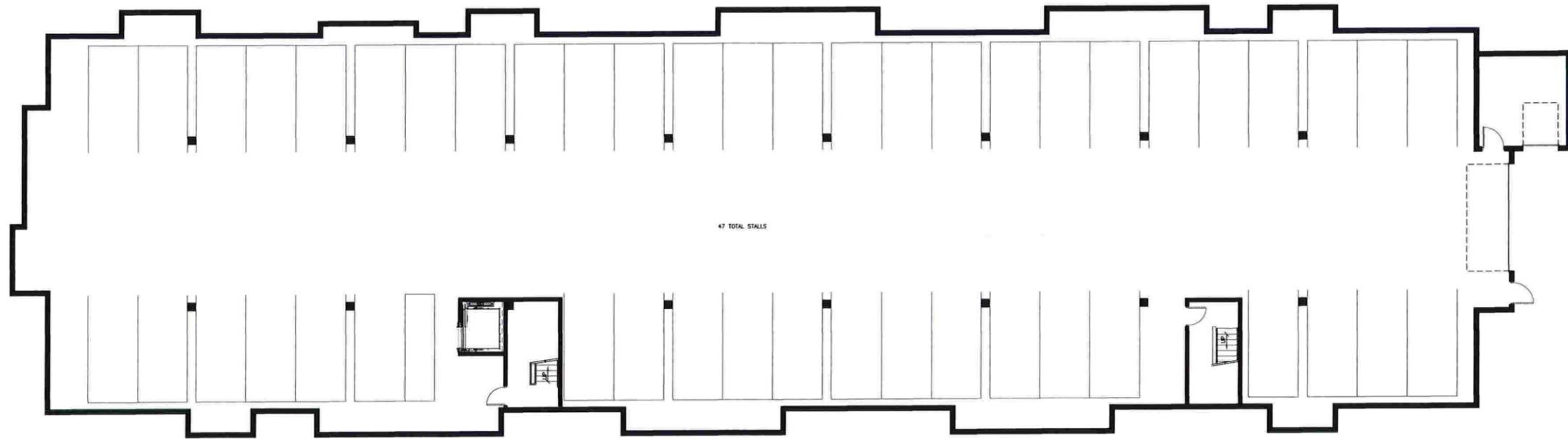
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PROJECT #: 20151110
SHEET NUMBER

A301

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GARAGE LEVEL LAYOUT:
17,000 SF

1 PARKING GARAGE FLOOR PLAN - 47 UNIT
A200 SCALE: 1/8" = 1'-0"

ISSUE DATES:

WINDSOR SBMTL: 03-02-16
WINDSOR RESBMTL: 04-07-16
WINDSOR RESBMTL: 04-29-16

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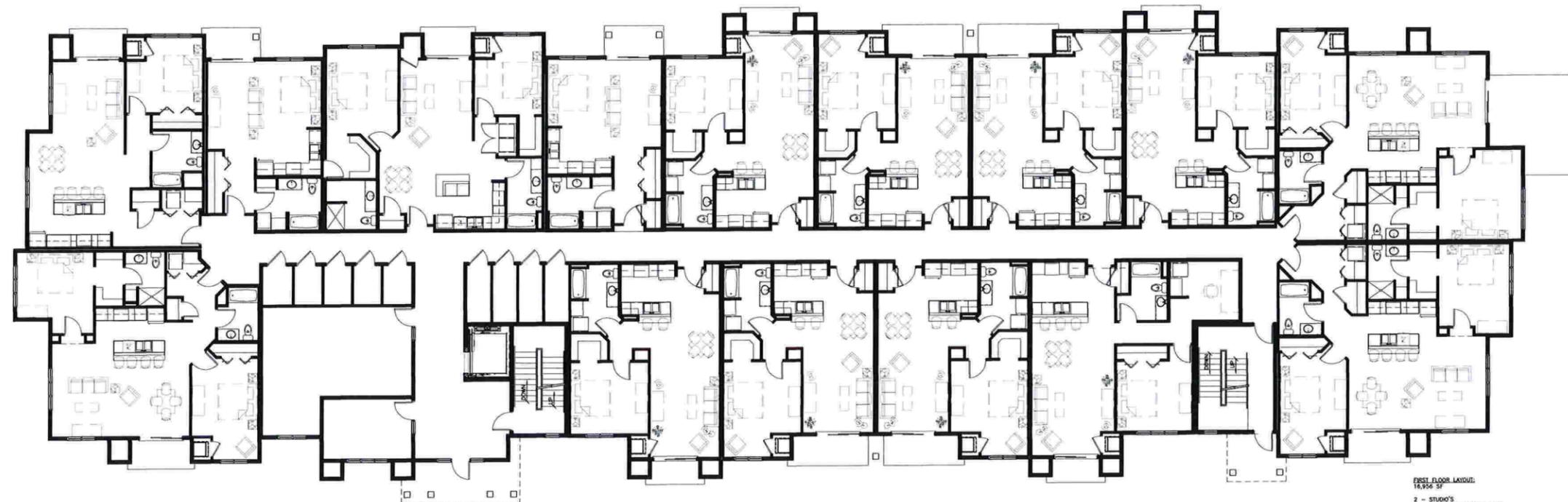
PROJECT #: 20151110
SHEET NUMBER

A200

WINDSOR CROSSING MULTI-FAMILY

NORTH TOWN ROAD
VILLAGE OF WINDSOR, WISCONSIN

FORWARD DEVELOPMENT GROUP
181 HORIZON DRIVE, SUITE 101
VERONA, WI 53593



FIRST FLOOR LAYOUT:
16,956 SF
2 - STUDIO'S
8 - 1 BEDROOM/1 BATH UNITS
1 - 3 BEDROOM/1 BATH/DEN UNITS
4 - 2 BEDROOM/2 BATH UNITS
15 TOTAL UNITS

1 FIRST FLOOR PLAN - 47 UNIT
A201 SCALE: 1/8" = 1'-0"

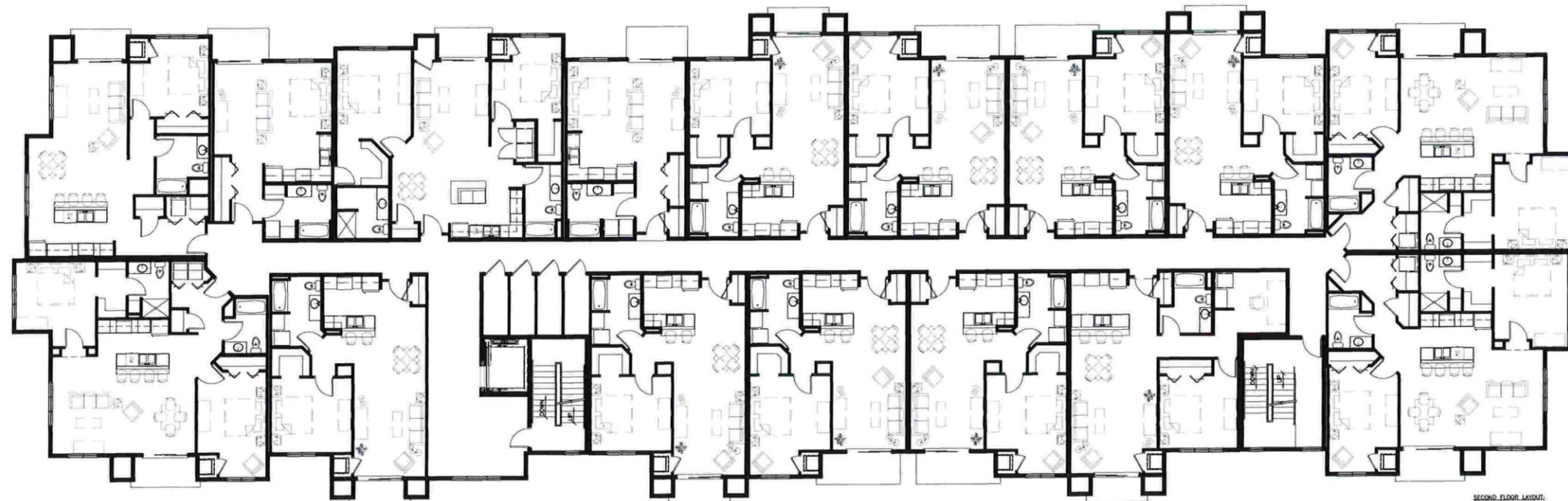
ISSUE DATES:
WINDSOR SBMTL: 03-02-16
WINDSOR REBMTL: 04-07-16
WINDSOR REBMTL: 04-29-16

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PROJECT #: 20151110
SHEET NUMBER

A201



SECOND FLOOR LAYOUT:
16,054 SF

- 2 - STUDIOS
- 9 - 1 BEDROOM/1 BATH UNITS
- 1 - 1 BEDROOM/1 BATH/DEN UNITS
- 4 - 2 BEDROOM/2 BATH UNITS
- 16 - TOTAL UNITS

1 SECOND FLOOR PLAN - 47 UNIT
A202 SCALE: 1/8" = 1'-0"

WINDSOR CROSSING MULTI-FAMILY

NORTH TOWN ROAD
VILLAGE OF WINDSOR, WISCONSIN
FORWARD DEVELOPMENT GROUP
1671 HORIZON DRIVE, SUITE 101
VERONA, WI 53583

ISSUE DATES:
WINDSOR SBMTL: 03-23-16
WINDSOR RESBMTL: 04-07-16
WINDSOR RESBMTL: 04-29-16

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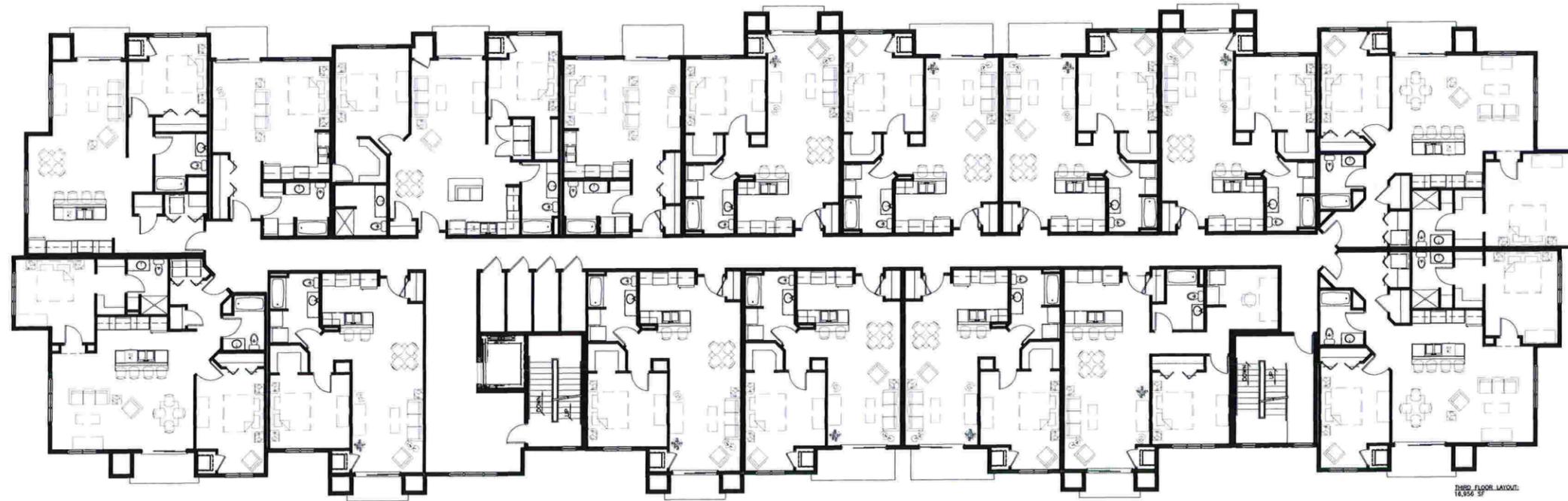
PROJECT #: 20151110
SHEET NUMBER

A202

WINDSOR CROSSING MULTI-FAMILY

NORTH TOWN ROAD
VILLAGE OF WINDSOR, WISCONSIN

FORWARD DEVELOPMENT GROUP
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593



THIRD FLOOR LAYOUT:
16,959 SF

- 2 - STUDIOS
- 9 - 1 BEDROOM/1BATH UNITS
- 1 - 1 BEDROOM/1 BATH/DEN UNITS
- 4 - 2 BEDROOM/2 BATH UNITS
- 16 TOTAL UNITS

1 THIRD FLOOR PLAN - 47 UNIT
A203 SCALE: 1/8" = 1'-0"

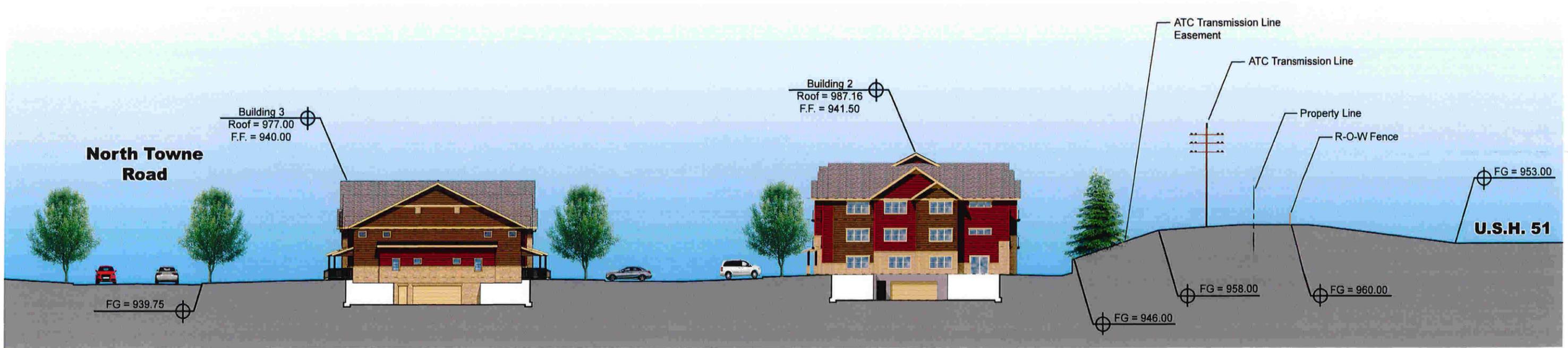
ISSUE DATES:
WINDSOR SBMTL: 03-02-16
WINDSOR RESBMTL: 04-07-16
WINDSOR RESBMTL: 04-29-16

RFPSI DATE:

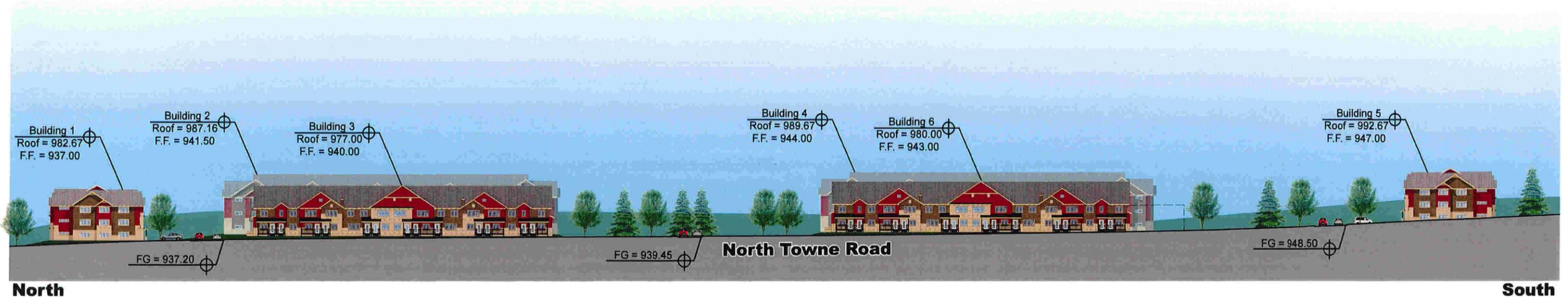
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PROJECT #: 20151110
SHEET NUMBER

A203



Windsor Crossing Multi-Family Cross Section



Windsor Crossing Multi-Family Cross Section (North Towne Road)

SHEET INDEX

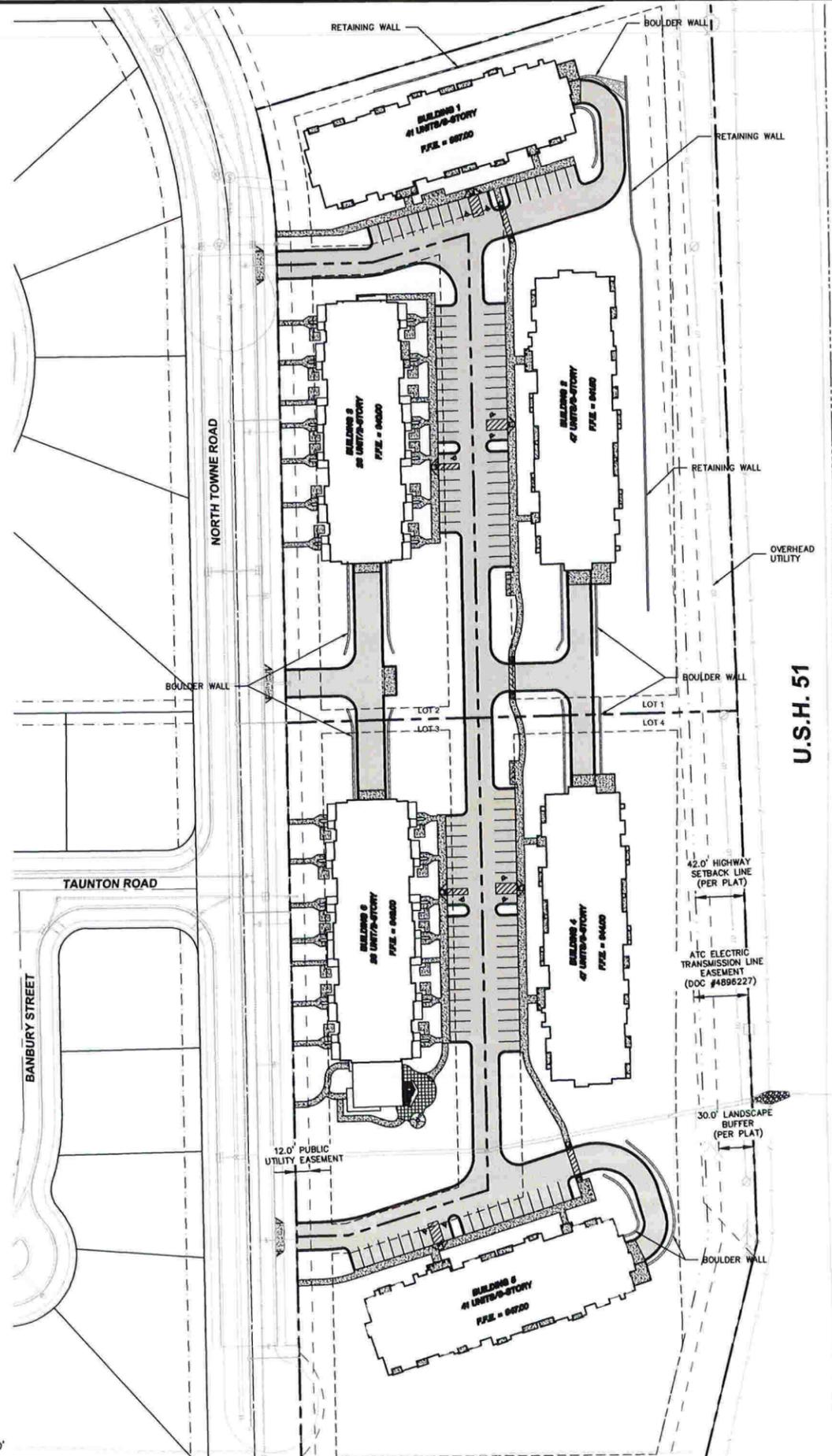
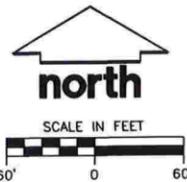
C100	OVERALL PAVEMENT ID AND DIMENSION PLAN
C101	BUILDING 1 PAVEMENT ID AND DIMENSION PLAN
C102	BUILDING 2 PAVEMENT ID AND DIMENSION PLAN
C103	BUILDING 3 PAVEMENT ID AND DIMENSION PLAN
C104	BUILDING 4 PAVEMENT ID AND DIMENSION PLAN
C105	BUILDING 5 PAVEMENT ID AND DIMENSION PLAN
C106	BUILDING 6 PAVEMENT ID AND DIMENSION PLAN
C200	OVERALL GRADING AND EROSION CONTROL PLAN
C201	BUILDING 1 GRADING AND EROSION CONTROL PLAN
C202	BUILDING 2 GRADING AND EROSION CONTROL PLAN
C203	BUILDING 3 GRADING AND EROSION CONTROL PLAN
C204	BUILDING 4 GRADING AND EROSION CONTROL PLAN
C205	BUILDING 5 GRADING AND EROSION CONTROL PLAN
C206	BUILDING 6 GRADING AND EROSION CONTROL PLAN
C300	OVERALL SITE UTILITY PLAN
C301	BUILDING 1 SITE UTILITY PLAN
C302	BUILDING 2 SITE UTILITY PLAN
C303	BUILDING 3 SITE UTILITY PLAN
C304	BUILDING 4 SITE UTILITY PLAN
C305	BUILDING 5 SITE UTILITY PLAN
C306	BUILDING 6 SITE UTILITY PLAN
C400	SITE NOTES AND DETAILS
C401	SITE NOTES AND DETAILS
C402	SITE NOTES AND DETAILS
L100	OVERALL LANDSCAPE PLAN
L101	BUILDING 1 LANDSCAPE PLAN
L102	BUILDING 2 LANDSCAPE PLAN
L103	BUILDING 3 LANDSCAPE PLAN
L104	BUILDING 4 LANDSCAPE PLAN
L105	BUILDING 5 LANDSCAPE PLAN
L106	BUILDING 6 LANDSCAPE PLAN
L200	LANDSCAPE DETAILS, NOTES AND SPECS

PRE-DEVELOPMENT (PROPERTY LIMIT):

LOT 1:	PERVIOUS - 156,854 SF (3.601 AC)
	IMPERVIOUS - 0 SF
LOT 2:	PERVIOUS - 65,369 SF (1.501 AC)
	IMPERVIOUS - 0 SF
LOT 3:	PERVIOUS - 70,201 SF (1.612 AC)
	IMPERVIOUS - 0 SF
LOT 4:	PERVIOUS - 178,626 SF (4.101 AC)
	IMPERVIOUS - 0 SF

POST-DEVELOPMENT (PROPERTY LIMIT):

LOT 1:	PERVIOUS - 92,966 SF
	IMPERVIOUS - 63,888 SF (40.7% IMPERVIOUS)
LOT 2:	PERVIOUS - 28,077 SF
	IMPERVIOUS - 37,292 SF (57.0% IMPERVIOUS)
LOT 3:	PERVIOUS - 34,539 SF
	IMPERVIOUS - 35,662 SF (50.8% IMPERVIOUS)
LOT 4:	PERVIOUS - 120,218 SF
	IMPERVIOUS - 58,408 SF (33.0% IMPERVIOUS)



PAVING NOTES

- ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE VILLAGE OF WINDSOR ORDINANCES.
- CONCRETE PAVING SPECIFICATIONS-
 CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 CRUSHED AGGREGATE BASE COURSE - THE BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 SURFACE PREPARATION - NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 ASPHALTIC CONCRETE PAVING SPECIFICATIONS-
 CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 CRUSHED AGGREGATE BASE COURSE - BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.
 SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS.
 ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
 SURFACE PREPARATION - NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.

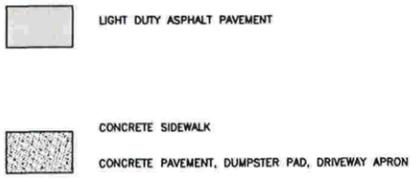
PAVEMENT STRIPING NOTES

- CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
- PROVIDE CONTRACTOR GRADE ACRYLIC, STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. ALL STRIPING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
- DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
- LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
- PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
- APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES. (OR TO MFG. SPECIFICATION)
- BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
- ALL HANDICAPPED ACCESSIBLE PARKING SHALL BE LOCATED PER 2009 IBC 1106.6

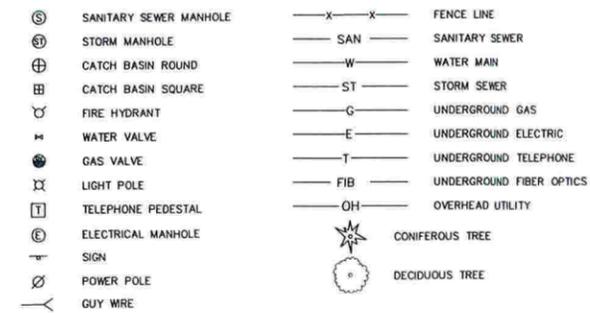
NOTE

ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION - CURRENT EDITION AND ADDENDUM, APPLICABLE VILLAGE OF WINDSOR ORDINANCES, AND THE GEOTECHNICAL ENGINEERING SERVICES REPORT.
 FINAL PAVEMENT DESIGN TO BE DETERMINED BY OWNER BASED ON GEOTECHNICAL ENGINEER OF RECORD RECOMMENDATIONS. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER OF RECORDS RECOMMENDATIONS AS SPECIFIED IN THE SAID GEOTECHNICAL REPORT.

RECOMMENDED PAVEMENT STRUCTURE



LEGEND



DRAFT - NOT FOR CONSTRUCTION

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 Engineers • Surveyors • Planners
 "BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"
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 • LANDSCAPE ARCHITECTURE
 MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX
 MADISON | MILWAUKEE
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 www.jsdinc.com



PROJECT:
**WINDSOR CROSSING
 MULTI-FAMILY
 DEVELOPMENT**
 PROJECT LOCATION:
 VILLAGE OF WINDSOR
 DANE COUNTY, WI
 JSD PROJECT NO.: 15-7097A-B

SEAL/SIGNATURE:

PRELIMINARY
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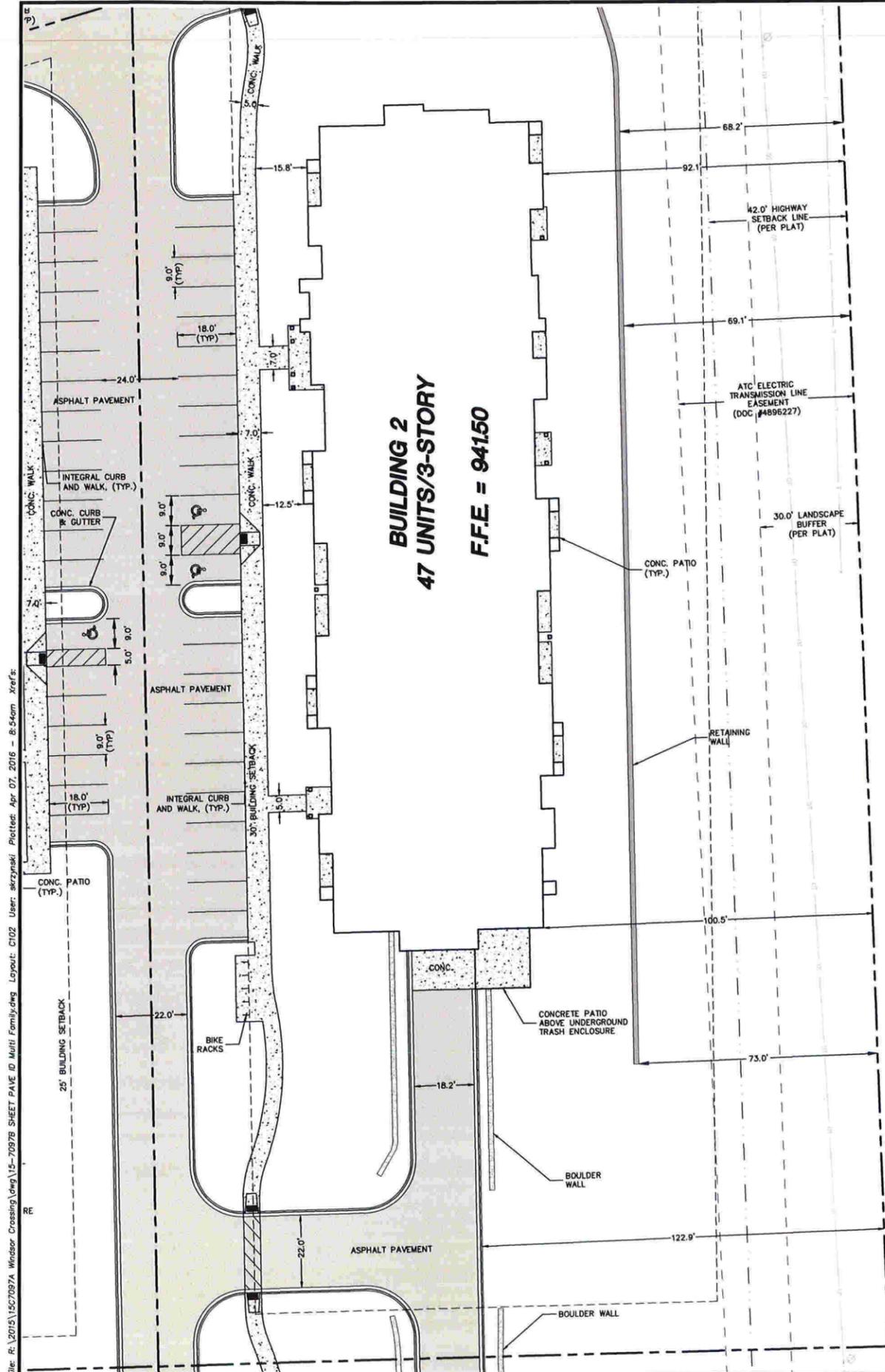
DESIGN:	SJK	02-29-16
DRAWN:	SJK	02-29-16
APPROVED:	RWI	03-02-16
PLAN MODIFICATIONS:		DATE:
VILLAGE SUBMITTAL		03-02-16
VILLAGE SUBMITTAL		04-07-16
VILLAGE SUBMITTAL		04-29-16

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SHEET TITLE:
**OVERALL
 PAVEMENT ID
 AND DIMENSION PLAN**
 SHEET NUMBER:
C100

File: R:\2015\15C7097A Windsor Crossing.dwg\15-7097B SHEET PAVE ID Multi Family.dwg Layout: C100 User: akryznaki Plotted: Apr 07, 2016 - 8:54am Xref's:

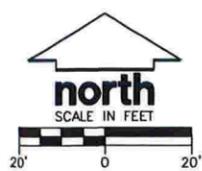
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U.S.H. 51

LEGEND

- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM MANHOLE
- ⊕ CATCH BASIN ROUND
- ⊕ CATCH BASIN SQUARE
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ GAS VALVE
- ⊕ LIGHT POLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ ELECTRICAL MANHOLE
- ⊕ SIGN
- ⊕ POWER POLE
- ⊕ GUY WIRE
- X — X — FENCE LINE
- SAN — SANITARY SEWER
- W — WATER MAIN
- ST — STORM SEWER
- G — UNDERGROUND GAS
- E — UNDERGROUND ELECTRIC
- T — UNDERGROUND TELEPHONE
- FIB — UNDERGROUND FIBER OPTICS
- OH — OVERHEAD UTILITY
- ☀ CONIFEROUS TREE
- ⊙ DECIDUOUS TREE



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PROJECT:
**WINDSOR CROSSING
 MULTI-FAMILY
 DEVELOPMENT**
 PROJECT LOCATION:
 VILLAGE OF WINDSOR
 DANE COUNTY, WI
 JSD PROJECT NO.: 15-7097A-B

SEAL/SIGNATURE:
PRELIMINARY

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SHEET TITLE:
**BUILDING 2
 PAVEMENT ID AND
 DIMENSION
 PLAN**

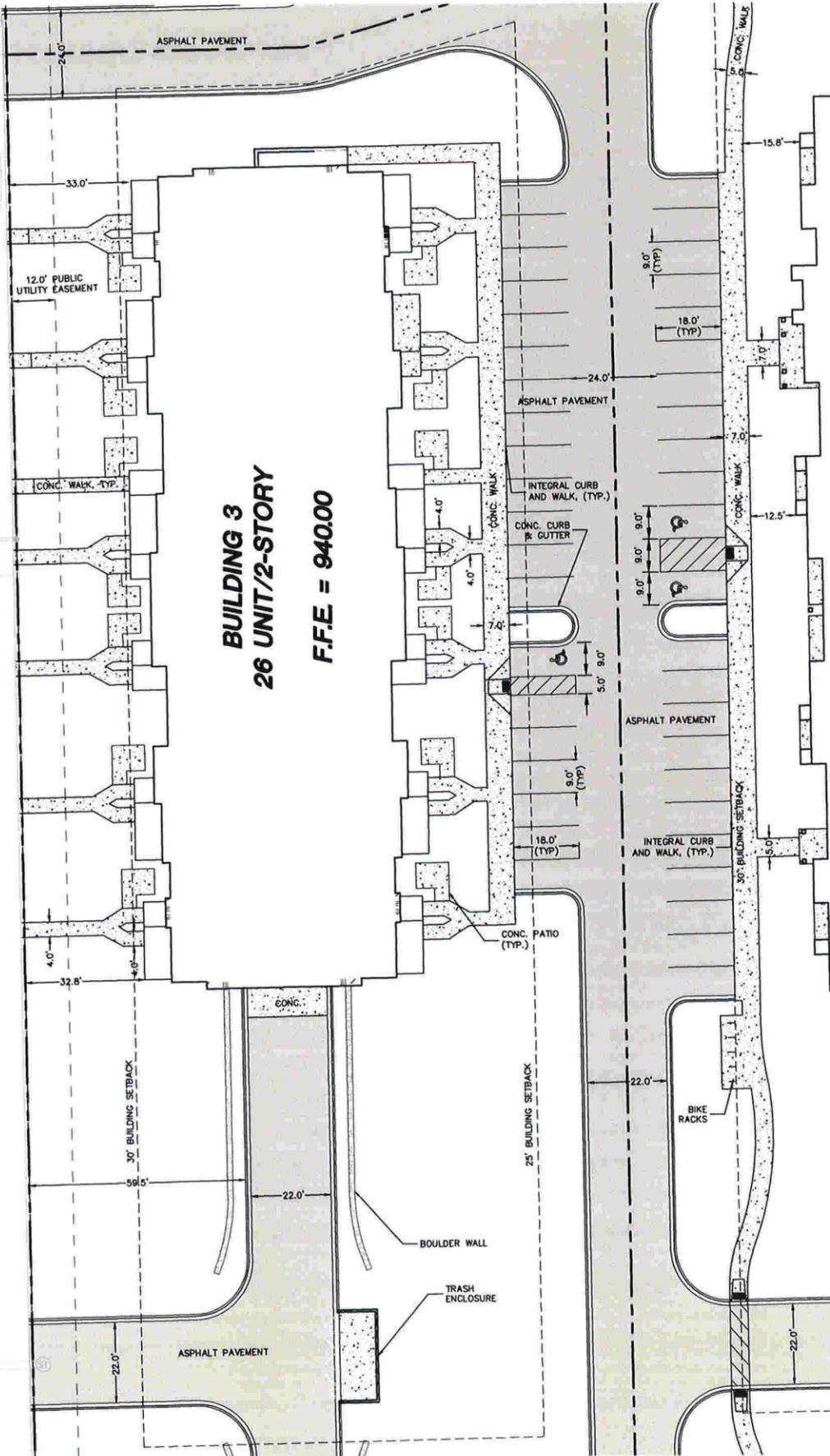
SHEET NUMBER:
C102

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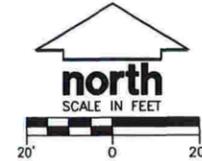
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File: R:\2015\1507097A Windsor Crossing.dwg 15-7097B SHEET PAVE ID Multi Family.dwg Layout: C103 User: akrynski Plotted: Apr 07, 2016 - 8:54am Xref's:

NORTH TOWNE ROAD



- LEGEND**
- ⊙ SANITARY SEWER MANHOLE
 - ⊙ STORM MANHOLE
 - ⊕ CATCH BASIN ROUND
 - ⊕ CATCH BASIN SQUARE
 - ⊙ FIRE HYDRANT
 - x WATER VALVE
 - ⊙ GAS VALVE
 - ⊙ LIGHT POLE
 - ⊙ TELEPHONE PEDESTAL
 - ⊙ ELECTRICAL MANHOLE
 - ⊙ SIGN
 - ⊙ POWER POLE
 - ⊙ GUY WIRE
 - x-x- FENCE LINE
 - SAN- SANITARY SEWER
 - W- WATER MAIN
 - ST- STORM SEWER
 - G- UNDERGROUND GAS
 - E- UNDERGROUND ELECTRIC
 - T- UNDERGROUND TELEPHONE
 - FIB- UNDERGROUND FIBER OPTICS
 - OH- OVERHEAD UTILITY
 - ⊙ CONIFEROUS TREE
 - ⊙ DECIDUOUS TREE



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PROJECT:
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 MULTI-FAMILY
 DEVELOPMENT**

PROJECT LOCATION:
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 DANE COUNTY, WI

JSD PROJECT NO.: 15-7097A-B

SEAL/SIGNATURE:

PRELIMINARY

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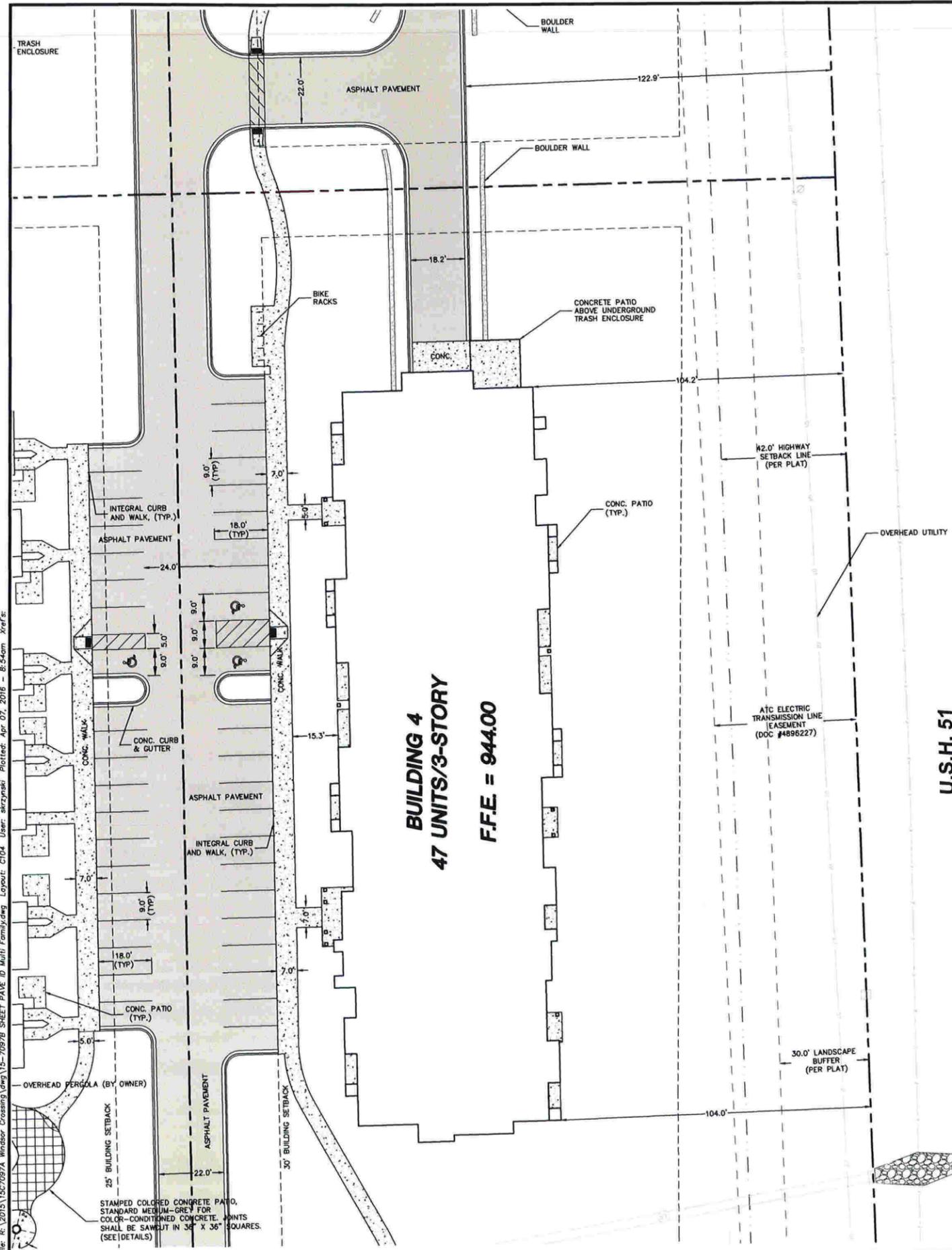
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SHEET TITLE:
**BUILDING 3
 PAVEMENT ID AND
 DIMENSION
 PLAN**

SHEET NUMBER:
C103

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STAMPED COLORED CONCRETE PATIO, STANDARD MEDIUM-GREY FOR COLOR-CONDITIONED CONCRETE. JOINTS SHALL BE SAWCUT IN 36" X 36" SQUARES. (SEE DETAILS)

- LEGEND**
- ⊙ SANITARY SEWER MANHOLE
 - ⊕ STORM MANHOLE
 - ⊕ CATCH BASIN ROUND
 - ⊕ CATCH BASIN SQUARE
 - ⊕ FIRE HYDRANT
 - ⊕ WATER VALVE
 - ⊕ GAS VALVE
 - ⊕ LIGHT POLE
 - ⊕ TELEPHONE PEDESTAL
 - ⊕ ELECTRICAL MANHOLE
 - ⊕ SIGN
 - ⊕ POWER POLE
 - ⊕ GUY WIRE
 - X — FENCE LINE
 - SAN — SANITARY SEWER
 - W — WATER MAIN
 - ST — STORM SEWER
 - G — UNDERGROUND GAS
 - E — UNDERGROUND ELECTRIC
 - T — UNDERGROUND TELEPHONE
 - FIB — UNDERGROUND FIBER OPTICS
 - OH — OVERHEAD UTILITY
 - ☼ CONIFEROUS TREE
 - ☼ DECIDUOUS TREE



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 DANE COUNTY, WI

JSD PROJECT NO.: 15-7097A-B

SEAL/SIGNATURE:

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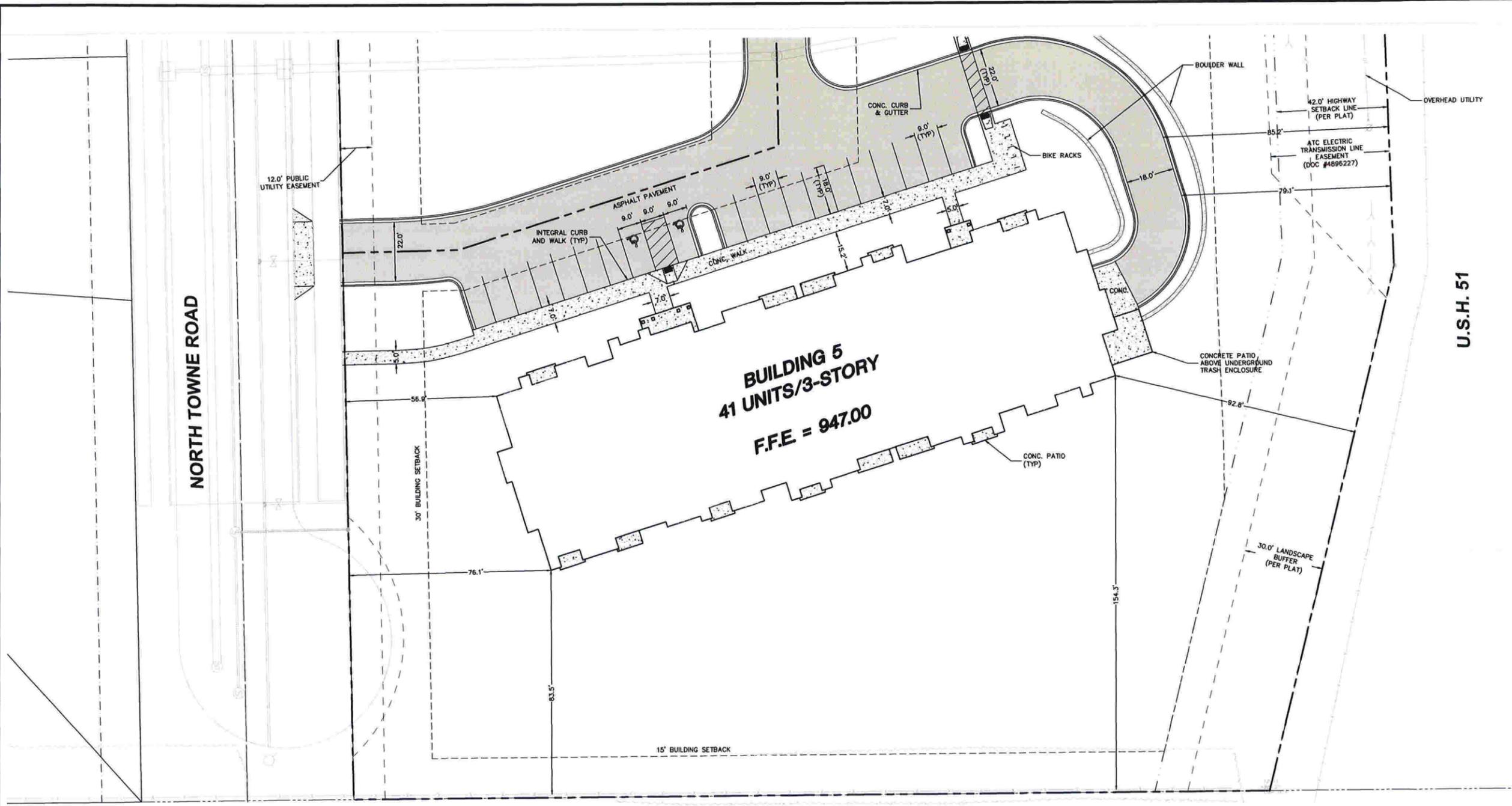
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SHEET TITLE:
**BUILDING 4
 PAVEMENT ID AND
 DIMENSION
 PLAN**

SHEET NUMBER:
C104

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PROJECT:
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 MULTI-FAMILY
 DEVELOPMENT**

PROJECT LOCATION:
 VILLAGE OF WINDSOR
 DANE COUNTY, WI

JSD PROJECT NO.: 15-7097A-B

SEAL/SIGNATURE:

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VILLAGE SUBMITTAL	04-07-16
VILLAGE SUBMITTAL	04-29-16

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SHEET TITLE:
**BUILDING 5
 PAVEMENT ID AND
 DIMENSION
 PLAN**

SHEET NUMBER:
C105

LEGEND

⊙	SANITARY SEWER MANHOLE	-X-X-	FENCE LINE
⊕	STORM MANHOLE	-SAN-	SANITARY SEWER
⊕	CATCH BASIN ROUND	-W-	WATER MAIN
⊕	CATCH BASIN SQUARE	-ST-	STORM SEWER
⊕	FIRE HYDRANT	-G-	UNDERGROUND GAS
⊕	WATER VALVE	-E-	UNDERGROUND ELECTRIC
⊕	GAS VALVE	-T-	UNDERGROUND TELEPHONE
⊕	LIGHT POLE	-FIB-	UNDERGROUND FIBER OPTICS
⊕	TELEPHONE PEDESTAL	-OH-	OVERHEAD UTILITY
⊕	ELECTRICAL MANHOLE	☀	CONIFEROUS TREE
⊕	SIGN	⊙	DECIDUOUS TREE
⊕	POWER POLE		
⊕	GUY WIRE		

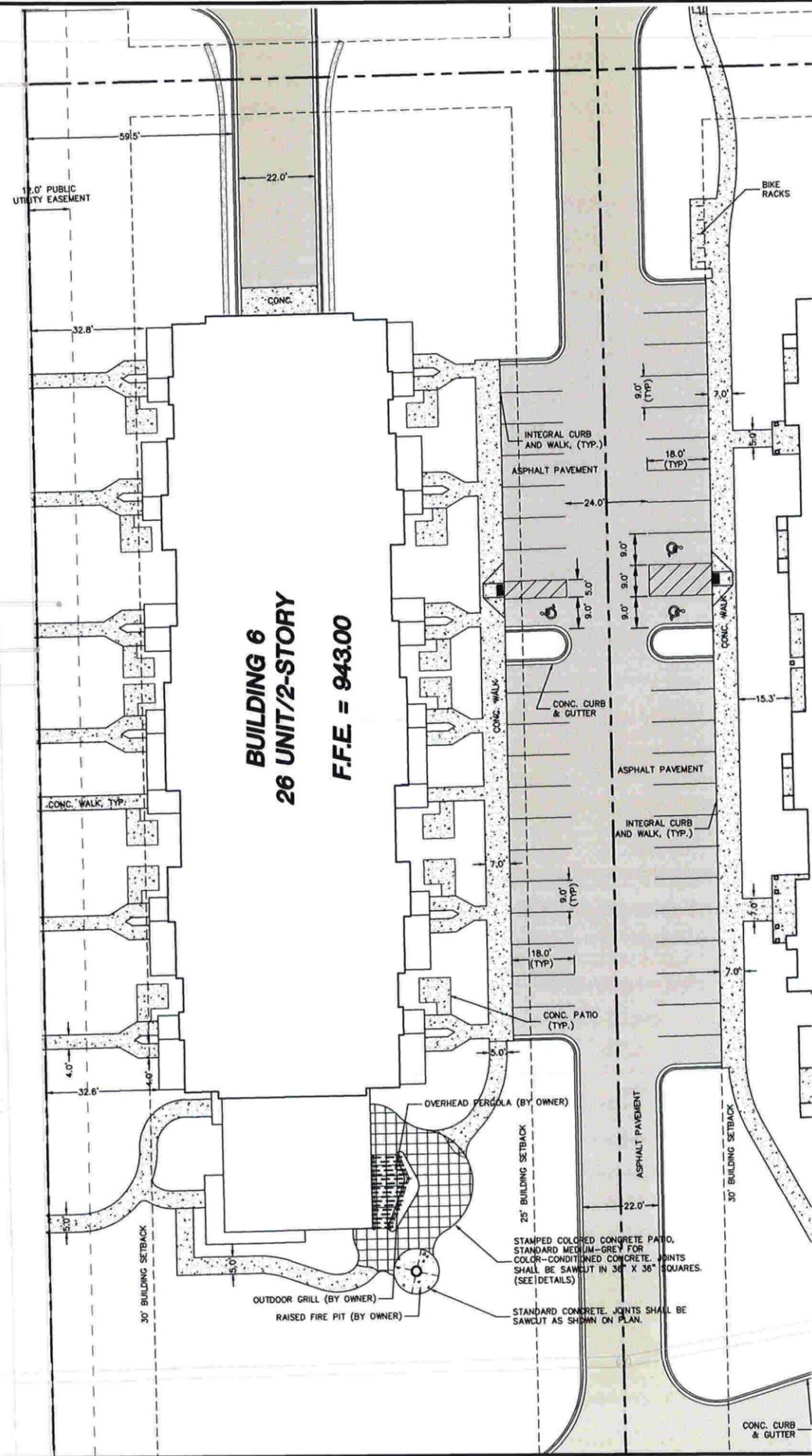


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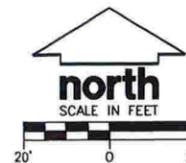
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NORTH TOWNE ROAD



LEGEND

- ⊙ SANITARY SEWER MANHOLE
- ⊕ STORM MANHOLE
- ⊕ CATCH BASIN ROUND
- ⊕ CATCH BASIN SQUARE
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ GAS VALVE
- ⊕ LIGHT POLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ ELECTRICAL MANHOLE
- ⊕ SIGN
- ⊕ POWER POLE
- ⊕ GUY WIRE
- X-X- FENCE LINE
- SAN- SANITARY SEWER
- W- WATER MAIN
- ST- STORM SEWER
- G- UNDERGROUND GAS
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PROJECT:
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PROJECT LOCATION:
 VILLAGE OF WINDSOR
 DANE COUNTY, WI
 JSD PROJECT NO.: 15-7097A-B

SEAL/SIGNATURE:
PRELIMINARY

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VILLAGE SUBMITTAL	04-07-16
VILLAGE SUBMITTAL	04-29-16

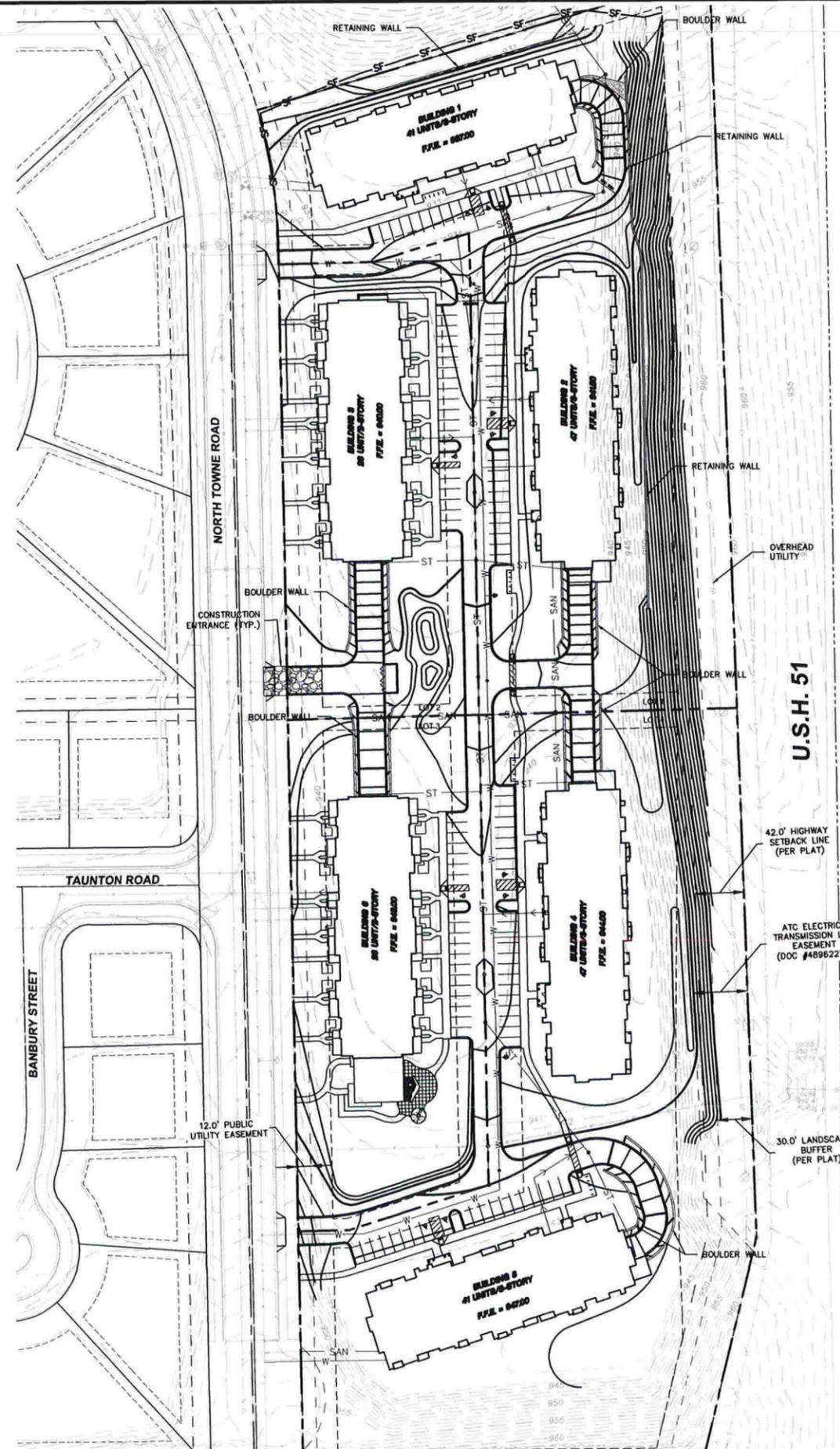
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SHEET TITLE:
**BUILDING 6
 PAVEMENT ID AND
 DIMENSION
 PLAN**

SHEET NUMBER:
C106

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File: R:\2015\15C7097A Windsor Crossing.dwg 15-7097B SHEET GRADING Multi Family.dwg Layout: C200 User: skrzynski Plotted: Apr 07, 2016 - 9:35am Xref's:



CONSTRUCTION SITE SEQUENCING

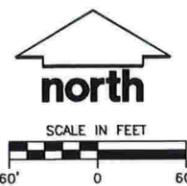
1. PRIOR TO START OF CONSTRUCTION, INSTALL PERIMETER SILT FENCE, EXISTING INLET PROTECTION, AND TEMPORARY CONSTRUCTION ENTRANCE.
 2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
 3. CONDUCT ROUGH GRADING EFFORTS.
 4. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
 5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
 6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
 7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

GRADING NOTES

1. CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO JSD PROFESSIONAL SERVICES, INC. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
2. ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
3. ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
 - CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE JSD ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
 - THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
4. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
5. THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
6. IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
7. WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CONDITION SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MORE RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH.
8. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
9. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
10. THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
11. THE PROPOSED SPOT GRADES AS INDICATED WITHIN THE PLANS ARE LOCATED ALONG THE GUTTER LINE.
12. CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
13. CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
15. WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE VILLAGE OF WINDSOR OFFICIAL. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
16. CONTRACTOR SHALL COMPLY WITH ALL VILLAGE AND/OR STATE CONSTRUCTION STANDARDS/ORDINANCES.
17. SEE SHEET C400 FOR ADDITIONAL EROSION AND SEDIMENT CONTROL NOTES.

LEGEND

- | | | | |
|---|------------------------|-------|--------------------------|
| ⊙ | SANITARY SEWER MANHOLE | -X-X- | FENCE LINE |
| ⊕ | STORM MANHOLE | -SAN- | SANITARY SEWER |
| ⊕ | CATCH BASIN ROUND | -W- | WATER MAIN |
| ⊕ | CATCH BASIN SQUARE | -ST- | STORM SEWER |
| ⊕ | FIRE HYDRANT | -G- | UNDERGROUND GAS |
| ⊕ | WATER VALVE | -E- | UNDERGROUND ELECTRIC |
| ⊕ | GAS VALVE | -T- | UNDERGROUND TELEPHONE |
| ⊕ | LIGHT POLE | -FIB- | UNDERGROUND FIBER OPTICS |
| ⊕ | TELEPHONE PEDESTAL | -OH- | OVERHEAD UTILITY |
| ⊕ | ELECTRICAL MANHOLE | ☀ | CONIFEROUS TREE |
| ⊕ | SIGN | ○ | DECIDUOUS TREE |
| ⊕ | POWER POLE | | |
| ⊕ | GUY WIRE | | |



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PROJECT:
**WINDSOR CROSSING
 MULTI-FAMILY
 DEVELOPMENT**

PROJECT LOCATION:
 VILLAGE OF WINDSOR
 DANE COUNTY, WI

JSD PROJECT NO.: 15-7097A-B

SEAL/SIGNATURE:

PRELIMINARY

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DESIGN:	SJK	02-29-16
DRAWN:	SJK	02-29-16
APPROVED:	RWI	03-02-16

PLAN MODIFICATIONS:	DATE:
VILLAGE SUBMITTAL	03-02-16
VILLAGE SUBMITTAL	04-07-16
VILLAGE SUBMITTAL	04-29-16

DIGGER'S HOTLINE

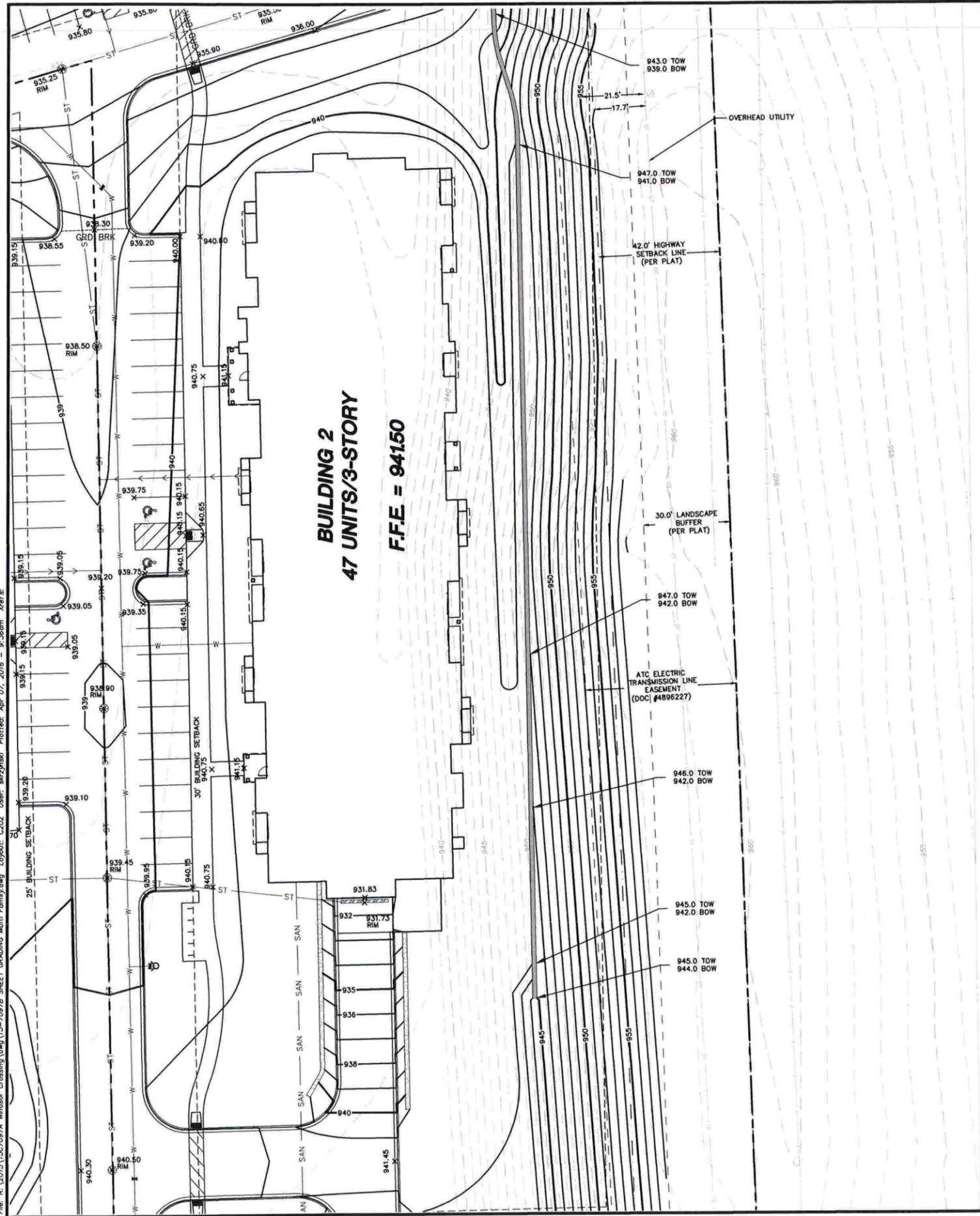
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 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
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SHEET TITLE:
**OVERALL GRADING
 AND EROSION
 CONTROL PLAN**

SHEET NUMBER:
C200

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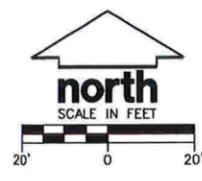
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U.S.H. 51

LEGEND

- ⊙ SANITARY SEWER MANHOLE
- ⊕ STORM MANHOLE
- ⊕ CATCH BASIN ROUND
- ⊕ CATCH BASIN SQUARE
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ GAS VALVE
- ⊕ LIGHT POLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ ELECTRICAL MANHOLE
- ⊕ SIGN
- ⊕ POWER POLE
- ⊕ GUY WIRE
- x-x- FENCE LINE
- SAN- SANITARY SEWER
- W- WATER MAIN
- ST- STORM SEWER
- G- UNDERGROUND GAS
- E- UNDERGROUND ELECTRIC
- T- UNDERGROUND TELEPHONE
- FIB- UNDERGROUND FIBER OPTICS
- OH- OVERHEAD UTILITY
- ⊕ CONIFEROUS TREE
- ⊕ DECIDUOUS TREE



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PROJECT:
**WINDSOR CROSSING
 MULTI-FAMILY
 DEVELOPMENT**

PROJECT LOCATION:
 VILLAGE OF WINDSOR
 DANE COUNTY, WI

JSD PROJECT NO.: 15-7097A-B

SEAL/SIGNATURE:

PRELIMINARY

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DESIGN:	SJK	02-29-16
DRAWN:	SJK	02-29-16
APPROVED:	RWI	03-02-10

PLAN MODIFICATIONS:	DATE:
VILLAGE SUBMITTAL	03-02-16
VILLAGE SUBMITTAL	04-07-16
VILLAGE SUBMITTAL	04-29-16

DESIGN:	DATE:
VILLAGE SUBMITTAL	03-02-16
VILLAGE SUBMITTAL	04-07-16
VILLAGE SUBMITTAL	04-29-16

DIGGERS HOTLINE

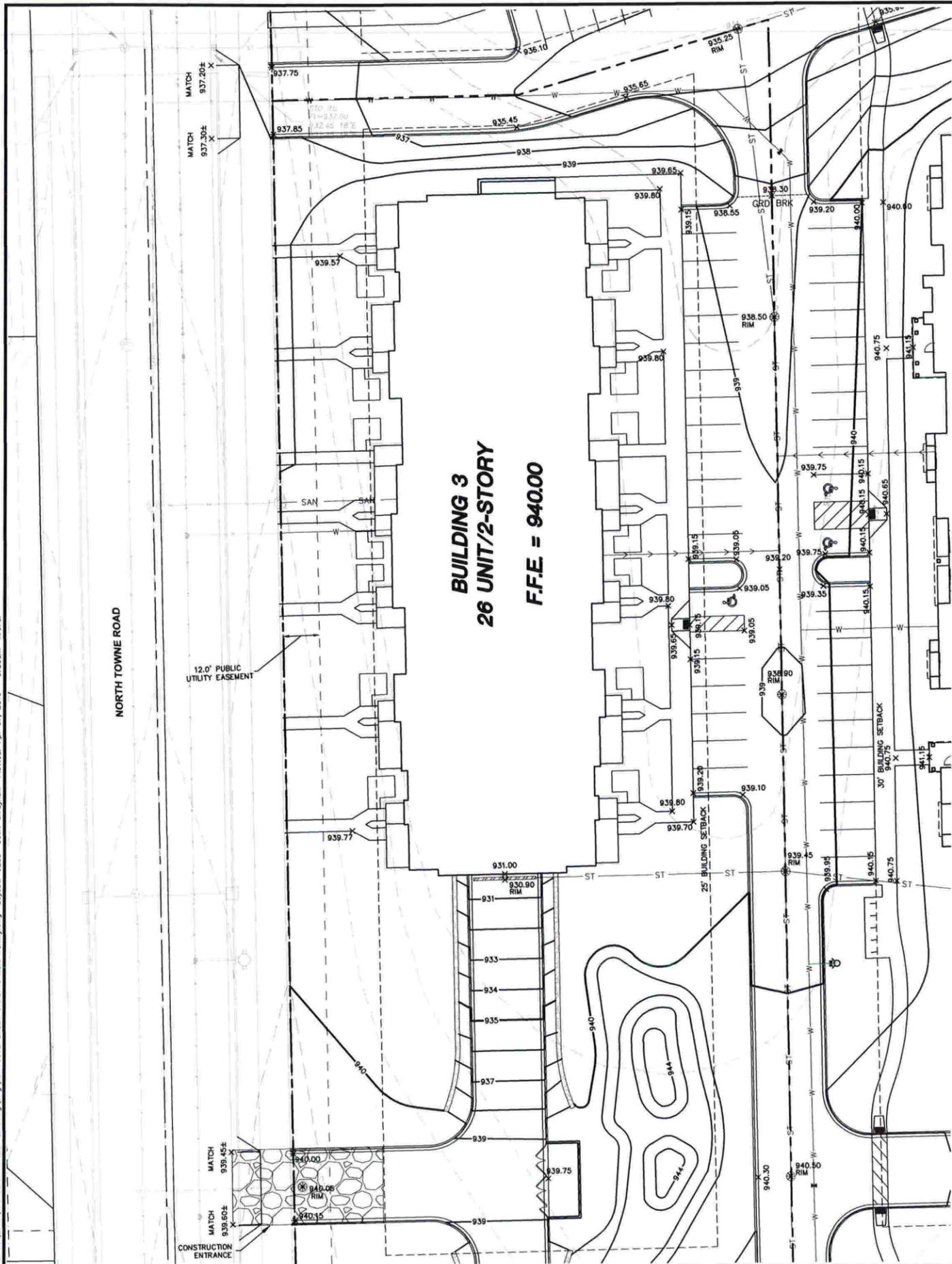
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SHEET TITLE:
**BUILDING 2
 GRADING AND
 EROSION CONTROL
 PLAN**

SHEET NUMBER:
C202

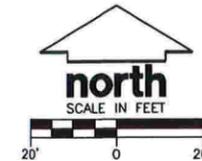
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LEGEND

- ⊙ SANITARY SEWER MANHOLE
- ⊕ STORM MANHOLE
- ⊕ CATCH BASIN ROUND
- ⊕ CATCH BASIN SQUARE
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ GAS VALVE
- ⊕ LIGHT POLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ ELECTRICAL MANHOLE
- ⊕ SIGN
- ⊕ POWER POLE
- ⊕ GUY WIRE
- X- FENCE LINE
- SAN- SANITARY SEWER
- W- WATER MAIN
- ST- STORM SEWER
- G- UNDERGROUND GAS
- E- UNDERGROUND ELECTRIC
- T- UNDERGROUND TELEPHONE
- FIB- UNDERGROUND FIBER OPTICS
- OH- OVERHEAD UTILITY
- ⊙ CONIFEROUS TREE
- ⊙ DECIDUOUS TREE



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SERVICES PROVIDED TO:

PROJECT:
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 MULTI-FAMILY
 DEVELOPMENT**

PROJECT LOCATION:
 VILLAGE OF WINDSOR
 DANE COUNTY, WI

JSD PROJECT NO.: 15-7097A-B

SEAL/SIGNATURE:

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VILLAGE SUBMITTAL		04-07-16
VILLAGE SUBMITTAL		04-29-16

DIGGERS HOTLINE

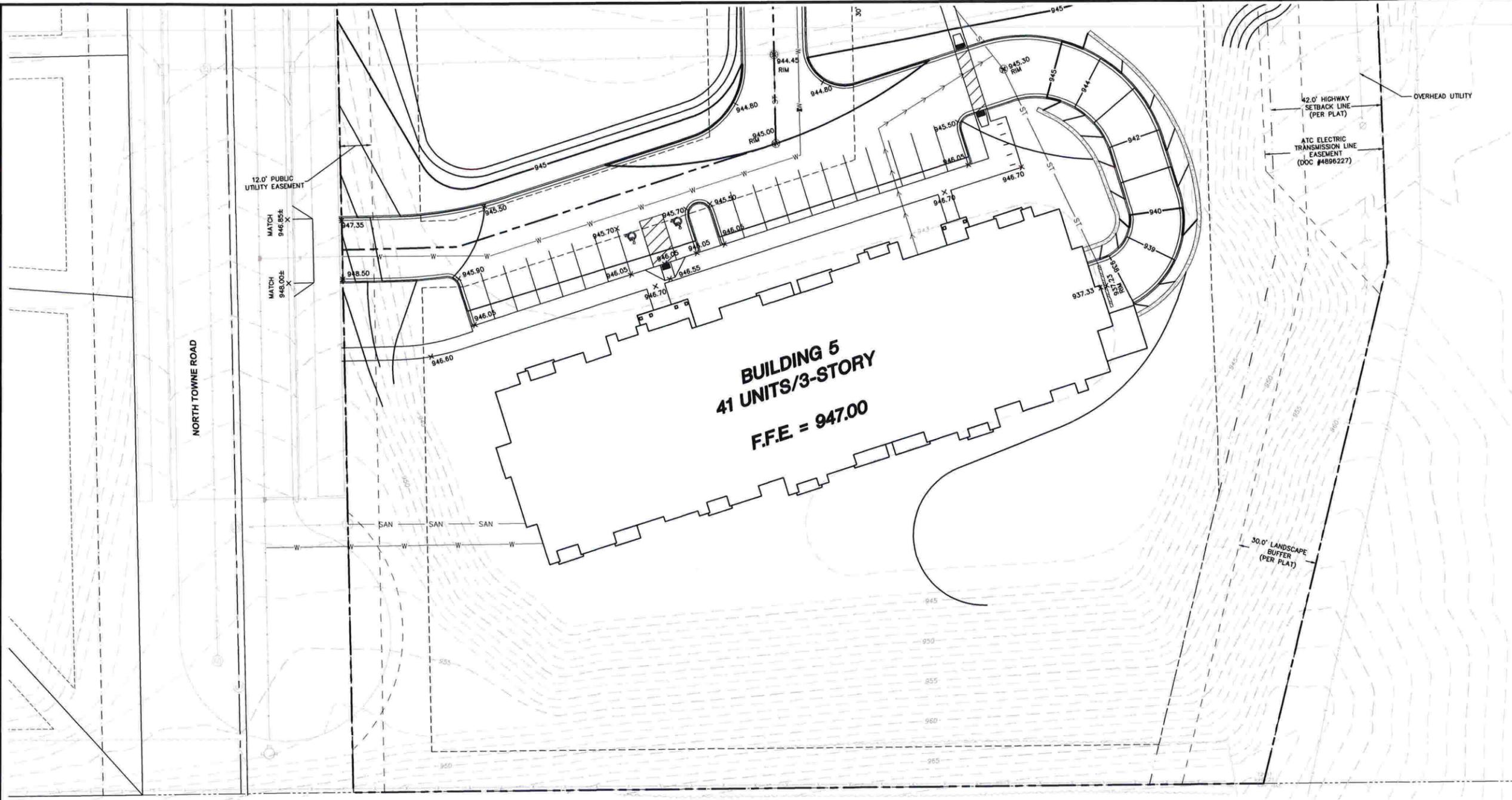
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SHEET TITLE:
**BUILDING 3
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 EROSION CONTROL
 PLAN**

SHEET NUMBER:
C203

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BUILDING 5
41 UNITS/3-STORY
F.F.E. = 947.00

NORTH TOWNE ROAD

LEGEND

- | | | | |
|---|------------------------|-------|--------------------------|
| ⊙ | SANITARY SEWER MANHOLE | -X-X- | FENCE LINE |
| ⊕ | STORM MANHOLE | -SAN- | SANITARY SEWER |
| ⊕ | CATCH BASIN ROUND | -W- | WATER MAIN |
| ⊕ | CATCH BASIN SQUARE | -ST- | STORM SEWER |
| ⊕ | FIRE HYDRANT | -G- | UNDERGROUND GAS |
| ⊕ | WATER VALVE | -E- | UNDERGROUND ELECTRIC |
| ⊕ | GAS VALVE | -T- | UNDERGROUND TELEPHONE |
| ⊕ | LIGHT POLE | -FIB- | UNDERGROUND FIBER OPTICS |
| ⊕ | TELEPHONE PEDESTAL | -OH- | OVERHEAD UTILITY |
| ⊕ | ELECTRICAL MANHOLE | | |
| ⊕ | SIGN | | |
| ⊕ | POWER POLE | | |
| ⊕ | GUY WIRE | | |
| | | ☼ | CONIFEROUS TREE |
| | | ⊙ | DECIDUOUS TREE |



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PROJECT:
WINDSOR CROSSING
MULTI-FAMILY
DEVELOPMENT

PROJECT LOCATION:
 VILLAGE OF WINDSOR
 DANE COUNTY, WI

JSD PROJECT NO.: 15-7097A-B

SEAL/SIGNATURE:

PRELIMINARY

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DIGGERS HOTLINE

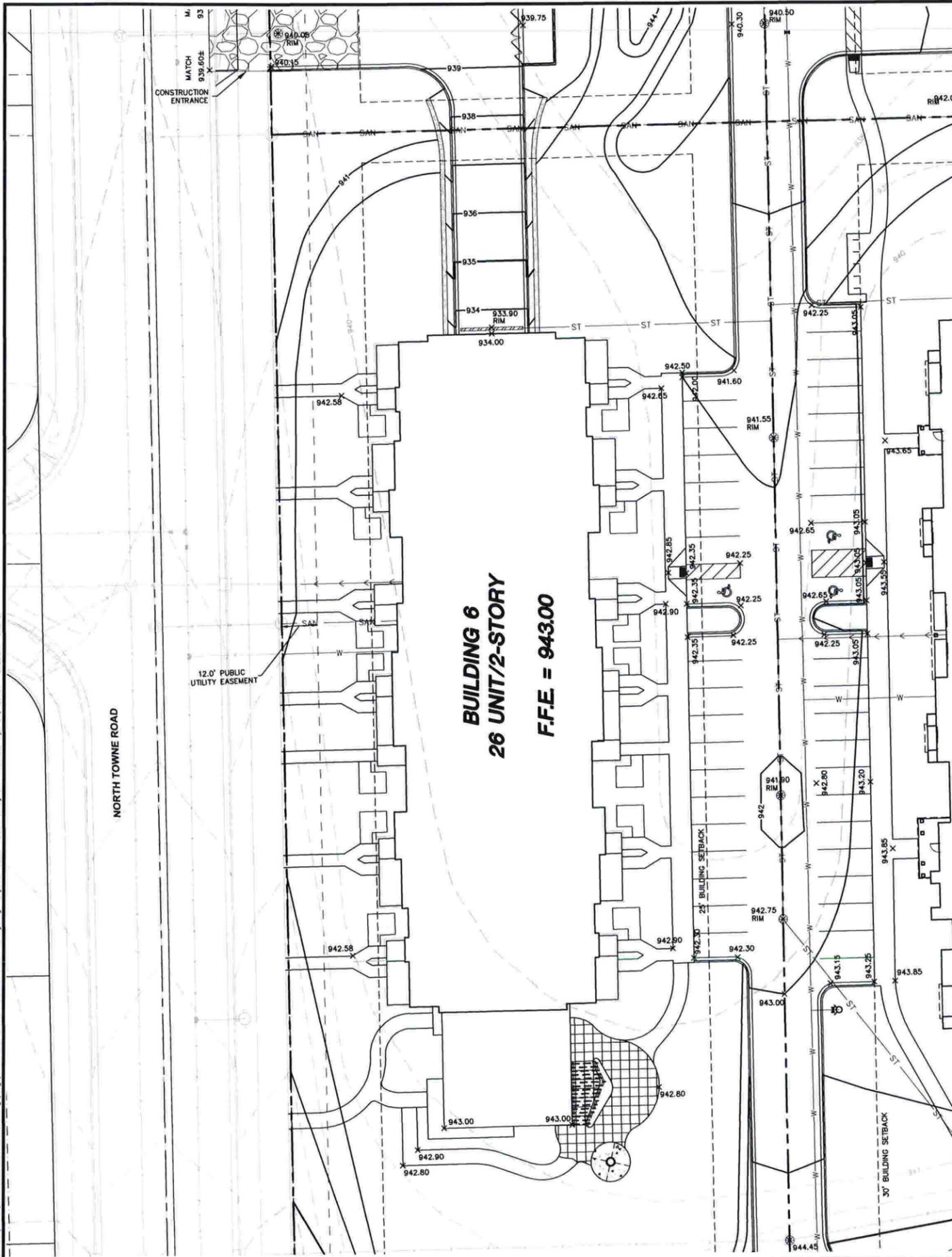
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SHEET TITLE:
BUILDING 5
GRADING AND
EROSION CONTROL
PLAN

SHEET NUMBER:
C205

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- LEGEND**
- ⊙ SANITARY SEWER MANHOLE
 - ⊕ STORM MANHOLE
 - ⊕ CATCH BASIN ROUND
 - ⊕ CATCH BASIN SQUARE
 - ⊕ FIRE HYDRANT
 - ⊕ WATER VALVE
 - ⊕ GAS VALVE
 - ⊕ LIGHT POLE
 - ⊕ TELEPHONE PEDESTAL
 - ⊕ ELECTRICAL MANHOLE
 - ⊕ SIGN
 - ⊕ POWER POLE
 - ⊕ GUY WIRE
 - X — FENCE LINE
 - SAN — SANITARY SEWER
 - W — WATER MAIN
 - ST — STORM SEWER
 - G — UNDERGROUND GAS
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PROJECT:
**WINDSOR CROSSING
 MULTI-FAMILY
 DEVELOPMENT**

PROJECT LOCATION:
 VILLAGE OF WINDSOR
 DANE COUNTY, WI

JSD PROJECT NO.: 15-7097A-B

SEAL/SIGNATURE:

PRELIMINARY

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PLAN MODIFICATIONS:		DATE:
VILLAGE SUBMITTAL		03-02-16
VILLAGE SUBMITTAL		04-07-16
VILLAGE SUBMITTAL		04-29-16

DIGGERS HOTLINE

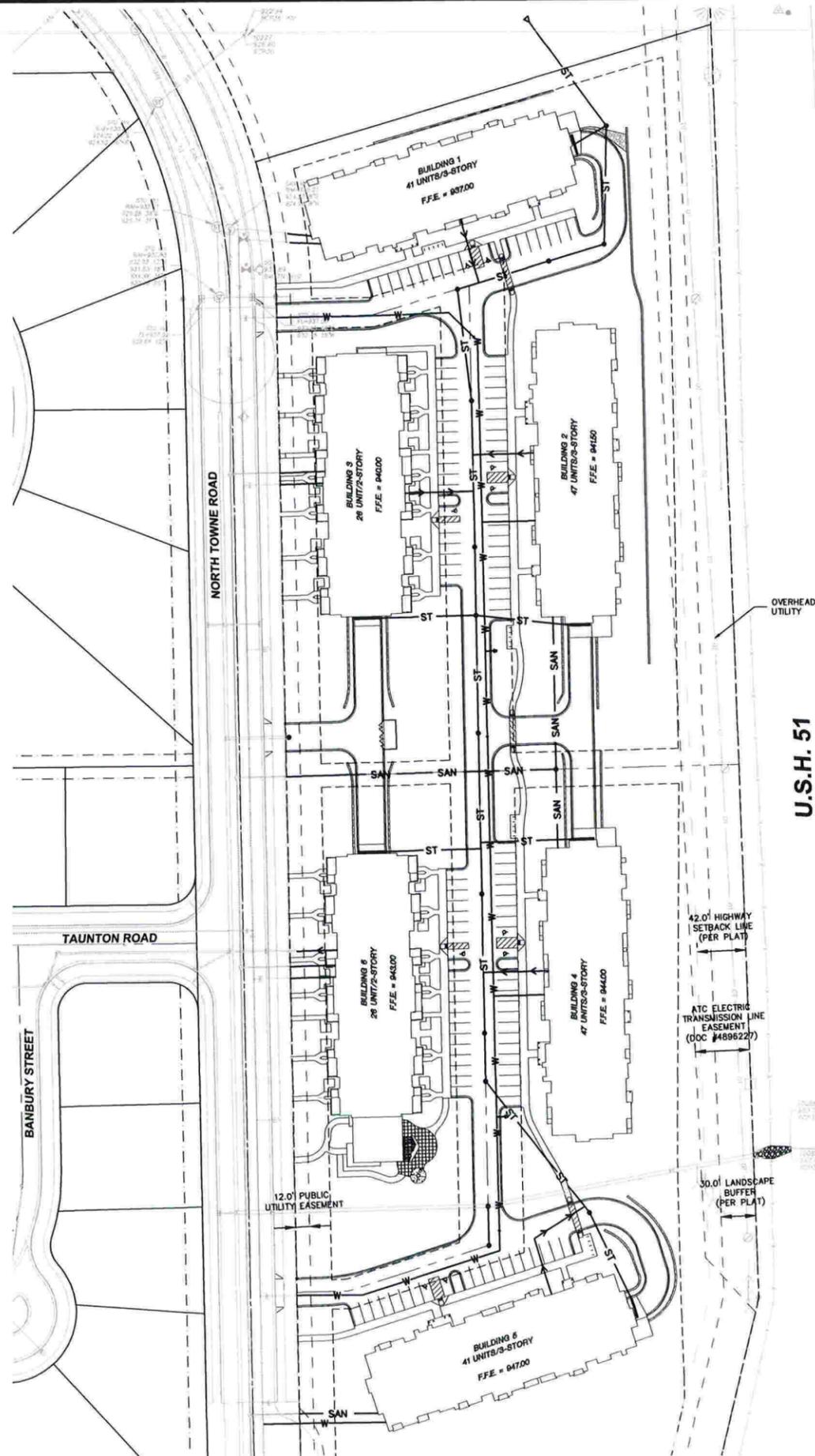
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SHEET TITLE:
**BUILDING 6
 GRADING AND
 EROSION CONTROL
 PLAN**

SHEET NUMBER:
C206

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UTILITY NOTES

- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN (WISCONSIN LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE VILLAGE OF WINDSOR AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES DSPS 382.
- TRACER WIRES SHALL BE INSTALLED AS NECESSARY IN ACCORD WITH 182.0715(2R) OF THE STATE STATUTES AND VILLAGE OF WINDSOR REQUIREMENTS.
- LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION.
- STORM SEWER SPECIFICATIONS -

PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS IV (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443; HIGH DENSITY DUAL-WALL POLYETHYLENE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S", OR POLYVINYL CHLORIDE (PVC) - CLASS PS46 MEETING AASHTO M278, AS NOTED. IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.

INLETS/CATCH BASINS - INLETS/CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 1'-8" X 2'-6" MAXIMUM OPENING. FRAME & GRATE SHALL BE NEENAH R-1580 WITH TYPE G GRATE, OR EQUAL. CURB FRAME & GRATE SHALL BE NEENAH R-3067, OR EQUAL.

BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".

MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.

FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.

9. WATER MAIN SPECIFICATIONS -

PIPE - WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS, VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.

10-GAUGE TRACER WIRE SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF ALL PRIVATE WATER MAINS, HYDRANT LEADS, FIRE DEPARTMENT CONNECTION LEADS AND LATERALS. THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE AT THE BUILDING WALL AND ALL OTHER SYSTEM LIMITS AND ENCLOSED IN RISER BOX WITH "WATER" ON THE COVER.

BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".

BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".

10. SANITARY SEWER SPECIFICATIONS -

PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.

BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."

BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".

11. WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).

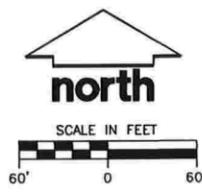
12. TRACER WIRE SHALL BE INSTALLED ALONG THE SANITARY SEWER SERVICE. THE TRACER WIRE SHALL BE CONTINUOUS AND SHALL BE EXTENDED ABOVE GRADE VIA A 4-INCH PVC PIPE WITH SCREW-ON CAP ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING.

13. ALL NEW ON-SITE SANITARY, STORM AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.

14. THE CONTRACTOR SHALL CONTACT THE VILLAGE OF WINDSOR 48-HOURS IN ADVANCE OF WATER CONNECTIONS TO THE VILLAGE-OWNED SYSTEM TO SCHEDULE INSPECTIONS.

LEGEND

⊙	SANITARY SEWER MANHOLE	-X-X-	FENCE LINE
⊕	STORM MANHOLE	-SAN-	SANITARY SEWER
⊕	CATCH BASIN ROUND	-W-	WATER MAIN
⊕	CATCH BASIN SQUARE	-ST-	STORM SEWER
⊕	FIRE HYDRANT	-G-	UNDERGROUND GAS
⊕	WATER VALVE	-E-	UNDERGROUND ELECTRIC
⊕	GAS VALVE	-T-	UNDERGROUND TELEPHONE
⊕	LIGHT POLE	-FIB-	UNDERGROUND FIBER OPTICS
⊕	TELEPHONE PEDESTAL	-OH-	OVERHEAD UTILITY
⊕	ELECTRICAL MANHOLE	⊙	CONIFEROUS TREE
⊕	SIGN	⊙	DECIDUOUS TREE
⊕	POWER POLE		
⊕	GUY WIRE		



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SERVICES PROVIDED TO:

PROJECT:
**WINDSOR CROSSING
 MULTI-FAMILY
 DEVELOPMENT**

PROJECT LOCATION:
 VILLAGE OF WINDSOR
 DANE COUNTY, WI

JSD PROJECT NO.: 15-7097A-B

SEAL/SIGNATURE:

PRELIMINARY

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	SJK	02-29-16
DRAWN:	SJK	02-29-16
APPROVED:	RWI	03-02-16
PLAN MODIFICATIONS:		DATE:
VILLAGE SUBMITTAL		03-02-16
VILLAGE SUBMITTAL		04-07-16
VILLAGE SUBMITTAL		04-29-16

DIGGERS HOTLINE

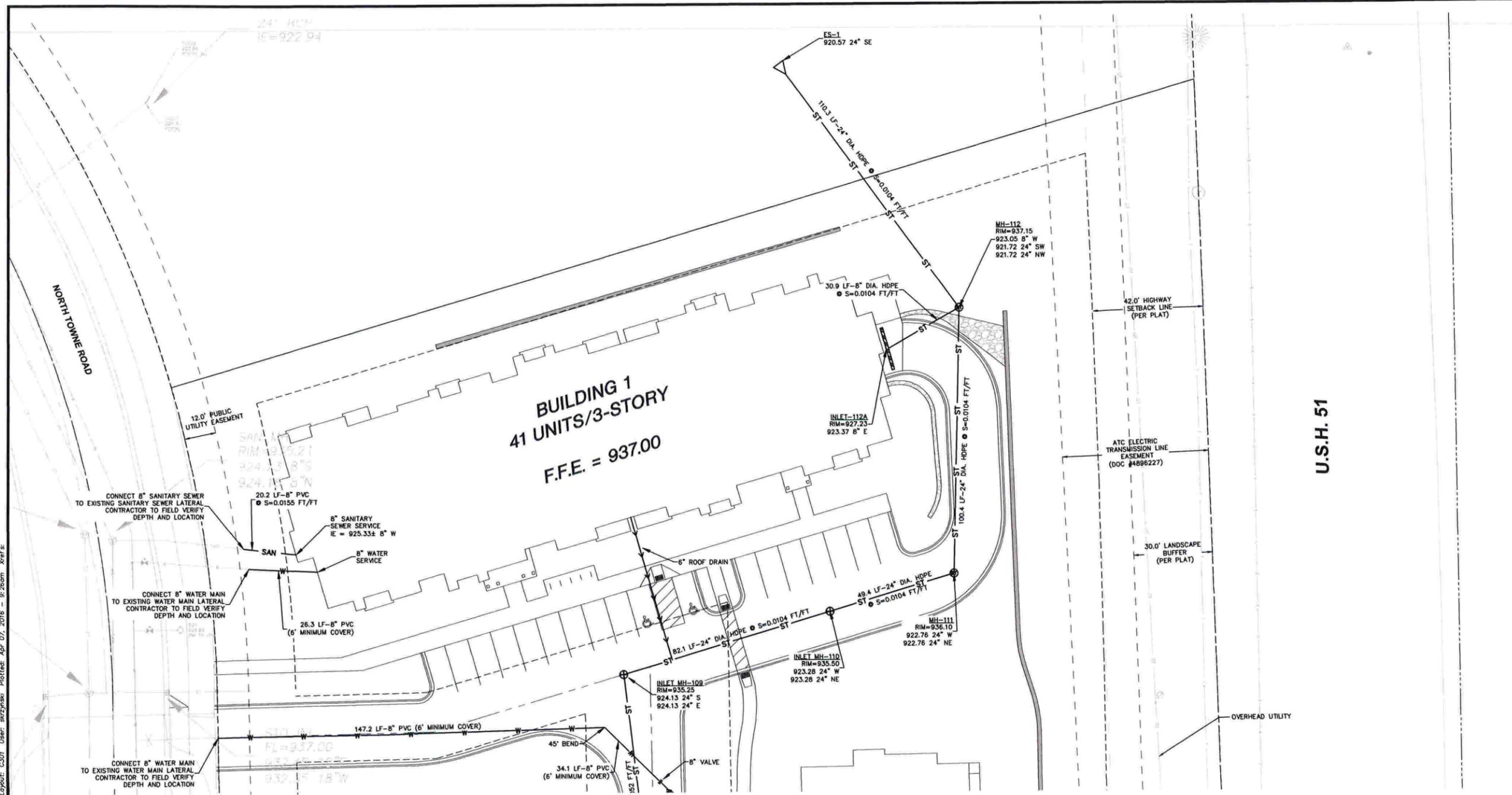
Toll Free (800) 242-8511
 Milwaukee Area (414) 250-1181
 Hearing Impaired TDD (800) 542-2289
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SHEET TITLE:
**OVERALL
 SITE UTILITY
 PLAN**

SHEET NUMBER:
C300

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File: R:\2015\1507097A Windsor Crossing.dwg 15-7097B SHEET UTILITY Multi Family.dwg Layout: C301 User: skrzywki Plotted: Apr 07, 2016 - 9:26am Xref's



LEGEND

- | | | | |
|---|------------------------|-----------|--------------------------|
| ⊙ | SANITARY SEWER MANHOLE | — X — X — | FENCE LINE |
| ⊕ | STORM MANHOLE | — SAN — | SANITARY SEWER |
| ⊕ | CATCH BASIN ROUND | — W — | WATER MAIN |
| ⊕ | CATCH BASIN SQUARE | — ST — | STORM SEWER |
| ⊕ | FIRE HYDRANT | — G — | UNDERGROUND GAS |
| ⊕ | WATER VALVE | — E — | UNDERGROUND ELECTRIC |
| ⊕ | GAS VALVE | — T — | UNDERGROUND TELEPHONE |
| ⊕ | LIGHT POLE | — FIB — | UNDERGROUND FIBER OPTICS |
| ⊕ | TELEPHONE PEDESTAL | — OH — | OVERHEAD UTILITY |
| ⊕ | ELECTRICAL MANHOLE | ⊙ | CONIFEROUS TREE |
| ⊕ | SIGN | ⊙ | DECIDUOUS TREE |
| ⊕ | POWER POLE | | |
| ⊕ | GUY WIRE | | |



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PROJECT:
**WINDSOR CROSSING
 MULTI-FAMILY
 DEVELOPMENT**

PROJECT LOCATION:
 VILLAGE OF WINDSOR
 DANE COUNTY, WI

JSD PROJECT NO.: 15-7097A-B

SEAL/SIGNATURE:

PRELIMINARY

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DESIGN:	SJK	02-28-16
DRAWN:	SJK	02-28-16
APPROVED:	RWI	03-02-16

PLAN MODIFICATIONS:	DATE:
VILLAGE SUBMITTAL	03-02-16
VILLAGE SUBMITTAL	04-07-16
VILLAGE SUBMITTAL	04-29-16

DIGGERS HOTLINE

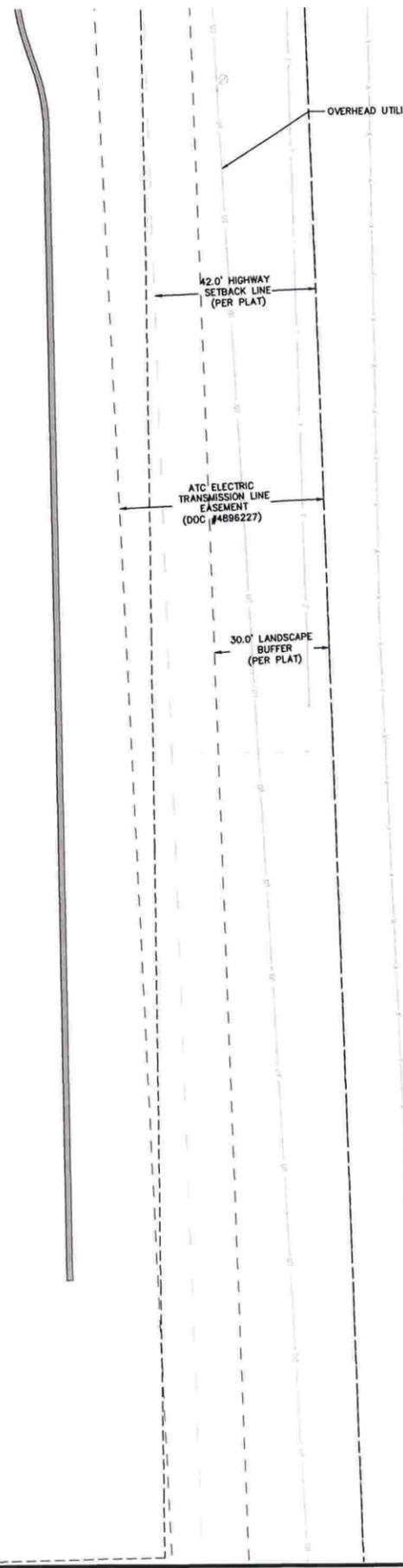
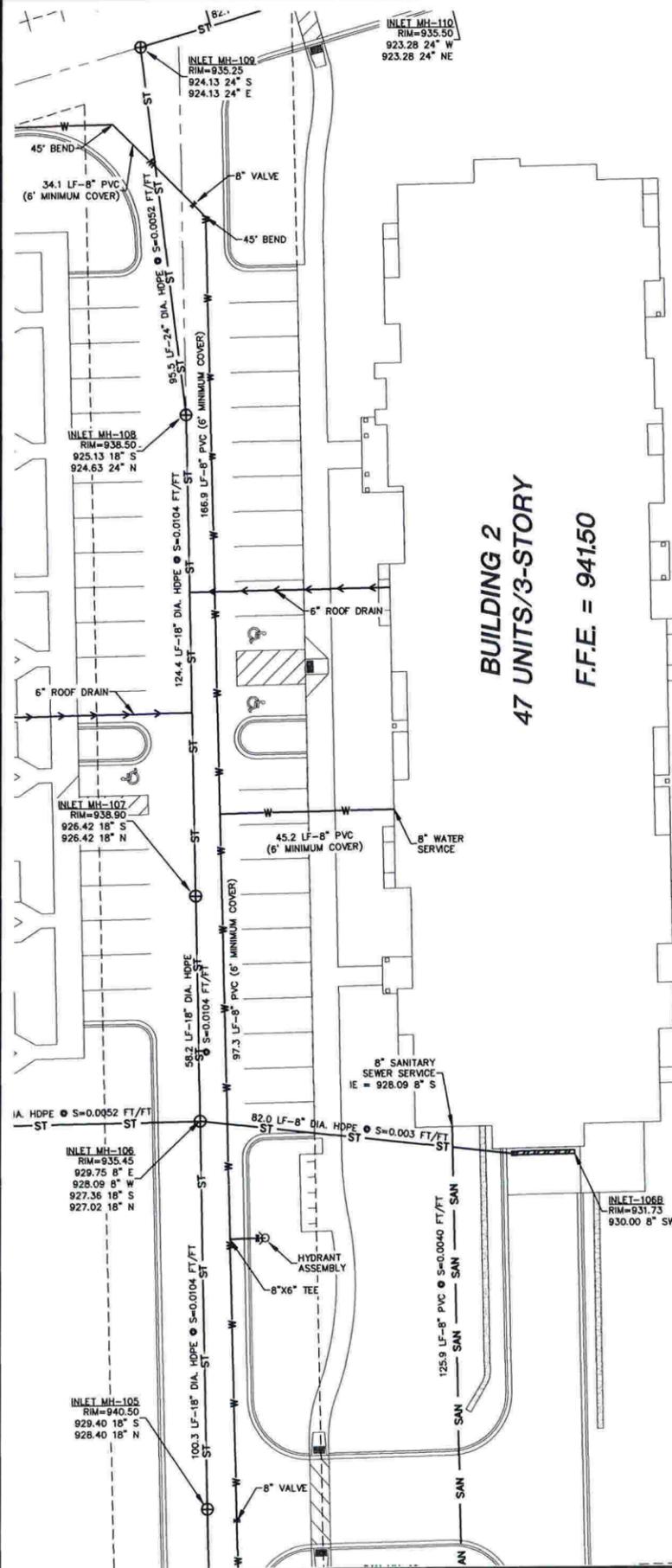
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SHEET TITLE:
**BUILDING 1
 SITE UTILITY
 PLAN**

SHEET NUMBER:
C301

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U.S.H. 51

- LEGEND**
- ⊙ SANITARY SEWER MANHOLE
 - ⊕ STORM MANHOLE
 - ⊕ CATCH BASIN ROUND
 - ⊕ CATCH BASIN SQUARE
 - ⊕ FIRE HYDRANT
 - ⊕ WATER VALVE
 - ⊕ GAS VALVE
 - ⊕ LIGHT POLE
 - ⊕ TELEPHONE PEDESTAL
 - ⊕ ELECTRICAL MANHOLE
 - ⊕ SIGN
 - ⊕ POWER POLE
 - ⊕ GUY WIRE
 - X — X — FENCE LINE
 - SAN — SANITARY SEWER
 - W — WATER MAIN
 - ST — STORM SEWER
 - G — UNDERGROUND GAS
 - E — UNDERGROUND ELECTRIC
 - T — UNDERGROUND TELEPHONE
 - FIB — UNDERGROUND FIBER OPTICS
 - OH — OVERHEAD UTILITY
 - ⊙ CONIFEROUS TREE
 - ⊙ DECIDUOUS TREE



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JSD PROJECT NO.: 15-7097A-B

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VILLAGE SUBMITTAL	03-02-16	
VILLAGE SUBMITTAL	04-07-16	
VILLAGE SUBMITTAL	04-29-16	

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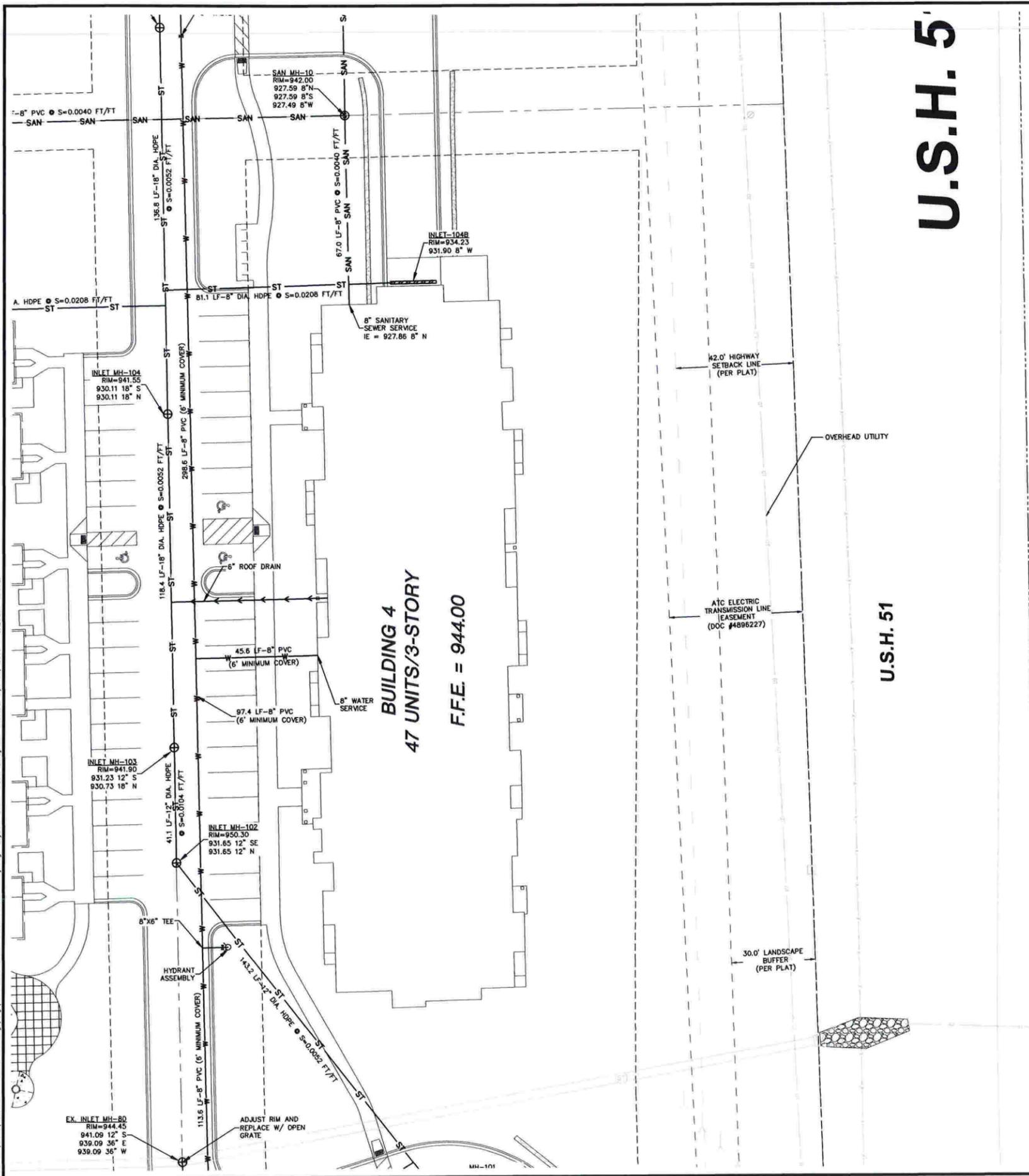
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SHEET TITLE:
**BUILDING 2
 SITE UTILITY
 PLAN**

SHEET NUMBER:
C302

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File: R:\2015\15C7097A Windsor Crossing\dwg\15-7097B SHEET UTILITY Multi Family.dwg Layout: C304 User: skrzydinski PlotDate: Apr 07, 2016 - 9:26am Xref's:

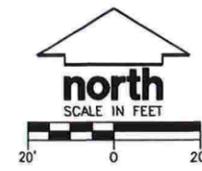


U.S.H. 5

U.S.H. 51

LEGEND

- ⊙ SANITARY SEWER MANHOLE
- ⊕ STORM MANHOLE
- ⊕ CATCH BASIN ROUND
- ⊕ CATCH BASIN SQUARE
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ GAS VALVE
- ⊕ LIGHT POLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ ELECTRICAL MANHOLE
- ⊕ SIGN
- ⊕ POWER POLE
- ⊕ GUY WIRE
- X-X- FENCE LINE
- SAN- SANITARY SEWER
- W- WATER MAIN
- ST- STORM SEWER
- G- UNDERGROUND GAS
- E- UNDERGROUND ELECTRIC
- T- UNDERGROUND TELEPHONE
- FIB- UNDERGROUND FIBER OPTICS
- OH- OVERHEAD UTILITY
- ☀️ CONIFEROUS TREE
- ☀️ DECIDUOUS TREE



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PROJECT LOCATION:
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JSD PROJECT NO.: 15-7097A-B

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PLAN MODIFICATIONS:	DATE:
VILLAGE SUBMITTAL	03-02-16
VILLAGE SUBMITTAL	04-07-16
VILLAGE SUBMITTAL	04-29-16

DIGGERS HOTLINE

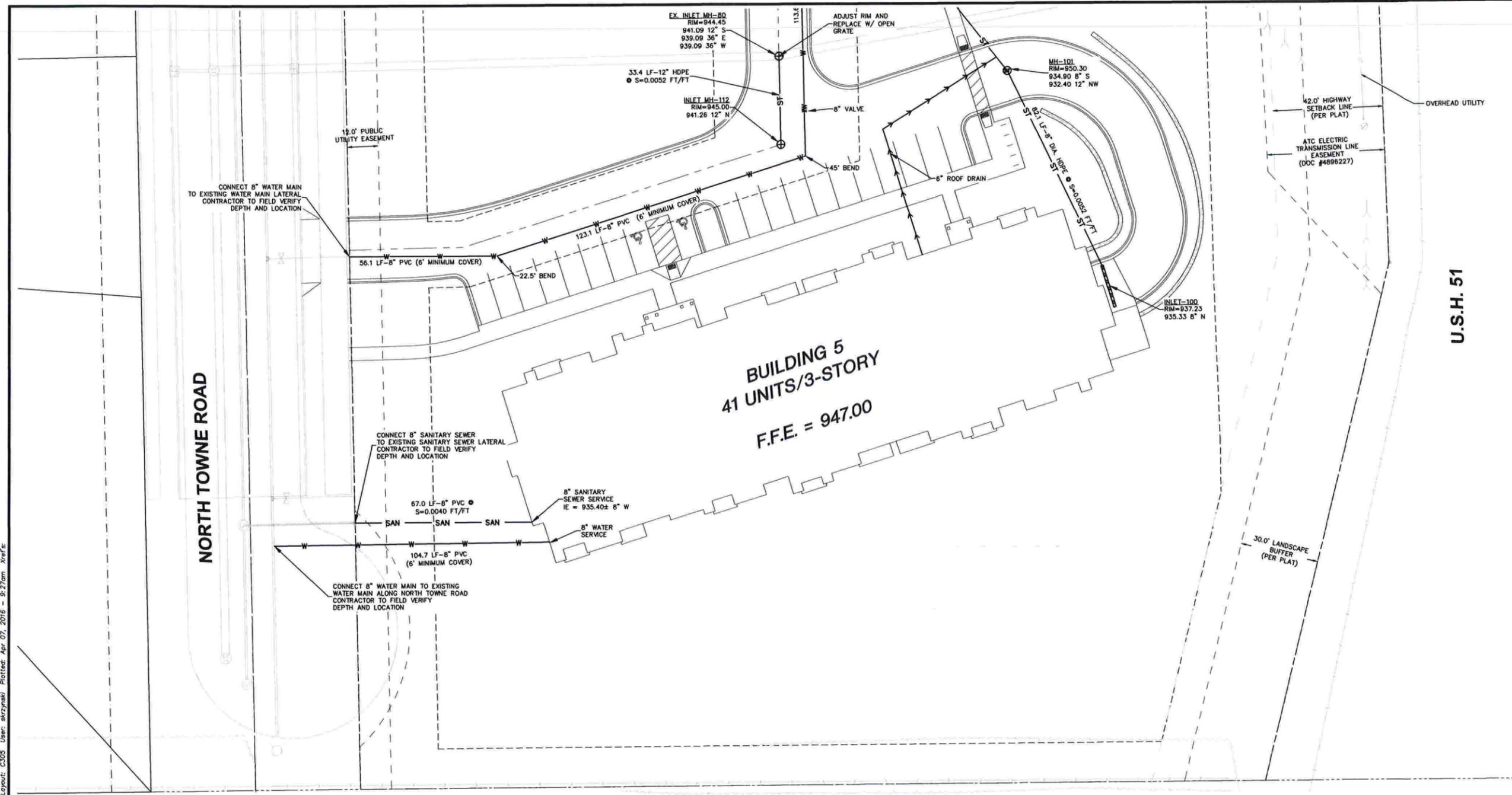
Toll Free (800) 242-8511
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SHEET TITLE:
**BUILDING 4
 SITE UTILITY
 PLAN**

SHEET NUMBER:
C304

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PROJECT:
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 DEVELOPMENT**

PROJECT LOCATION:
 VILLAGE OF WINDSOR
 DANE COUNTY, WI

JSD PROJECT NO.: 15-7097A-B

SEAL/SIGNATURE:

PRELIMINARY

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PLAN MODIFICATIONS:		DATE:
VILLAGE SUBMITTAL		03-02-16
VILLAGE SUBMITTAL		04-07-16
VILLAGE SUBMITTAL		04-29-16

DIGGERS HOTLINE

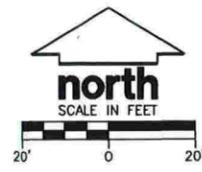
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SHEET TITLE:
**BUILDING 5
 SITE UTILITY
 PLAN**

SHEET NUMBER:
C305

LEGEND

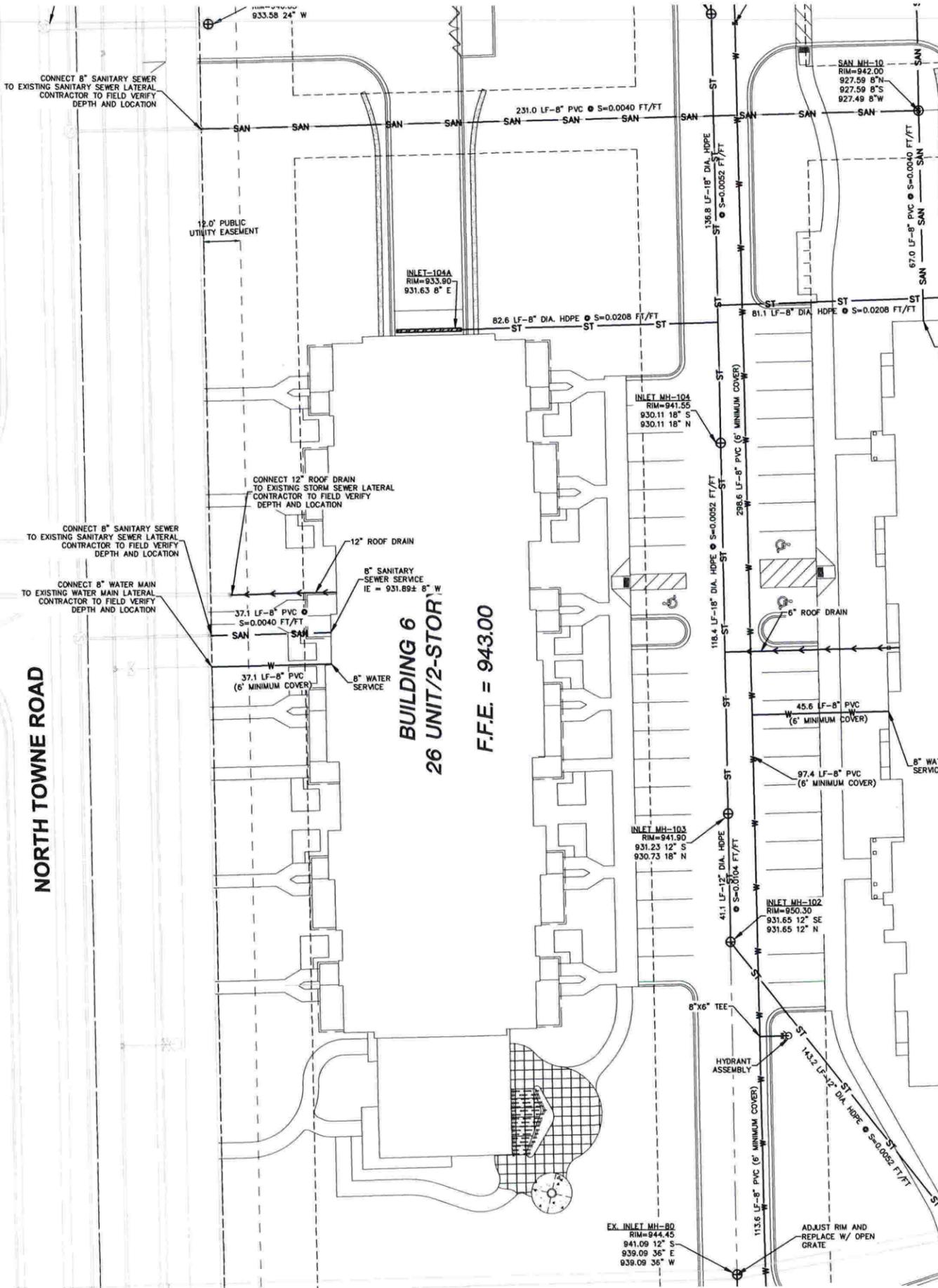
⊕	SANITARY SEWER MANHOLE	-X-X-	FENCE LINE
⊗	STORM MANHOLE	-SAN-	SANITARY SEWER
⊕	CATCH BASIN ROUND	-W-	WATER MAIN
⊗	CATCH BASIN SQUARE	-ST-	STORM SEWER
⊕	FIRE HYDRANT	-G-	UNDERGROUND GAS
⊕	WATER VALVE	-E-	UNDERGROUND ELECTRIC
⊕	GAS VALVE	-T-	UNDERGROUND TELEPHONE
⊕	LIGHT POLE	-FIB-	UNDERGROUND FIBER OPTICS
⊕	TELEPHONE PEDESTAL	-OH-	OVERHEAD UTILITY
⊕	ELECTRICAL MANHOLE	⊙	CONIFEROUS TREE
⊕	SIGN	⊙	DECIDUOUS TREE
⊕	POWER POLE		
⊕	GUY WIRE		



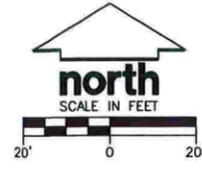
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- LEGEND**
- ⊙ SANITARY SEWER MANHOLE
 - ⊕ STORM MANHOLE
 - ⊗ CATCH BASIN ROUND
 - ⊞ CATCH BASIN SQUARE
 - ⊕ FIRE HYDRANT
 - ⊕ WATER VALVE
 - ⊕ GAS VALVE
 - ⊕ LIGHT POLE
 - ⊕ TELEPHONE PEDESTAL
 - ⊕ ELECTRICAL MANHOLE
 - ⊕ SIGN
 - ⊕ POWER POLE
 - ⊕ GUY WIRE
 - X — FENCE LINE
 - SAN — SANITARY SEWER
 - W — WATER MAIN
 - ST — STORM SEWER
 - G — UNDERGROUND GAS
 - E — UNDERGROUND ELECTRIC
 - T — UNDERGROUND TELEPHONE
 - FIB — UNDERGROUND FIBER OPTICS
 - OH — OVERHEAD UTILITY
 - ⊙ CONIFEROUS TREE
 - ⊙ DECIDUOUS TREE



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PROJECT:
**WINDSOR CROSSING
MULTI-FAMILY
DEVELOPMENT**

PROJECT LOCATION:
VILLAGE OF WINDSOR
DANE COUNTY, WI

JSD PROJECT NO.: 15-7097A-B

SEAL/SIGNATURE:

PRELIMINARY

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DRAWN:	SJK	02-29-16
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PLAN MODIFICATIONS:		
VILLAGE SUBMITTAL		03-02-16
VILLAGE SUBMITTAL		04-07-16
VILLAGE SUBMITTAL		04-29-16

DIGGERS HOTLINE

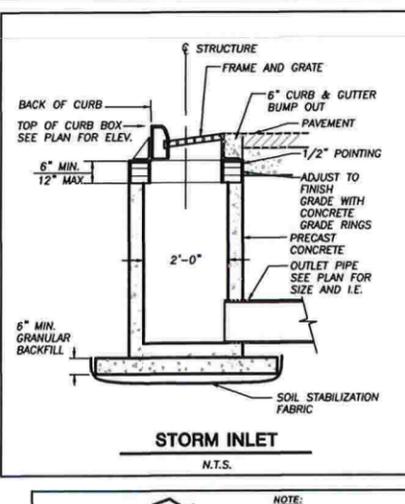
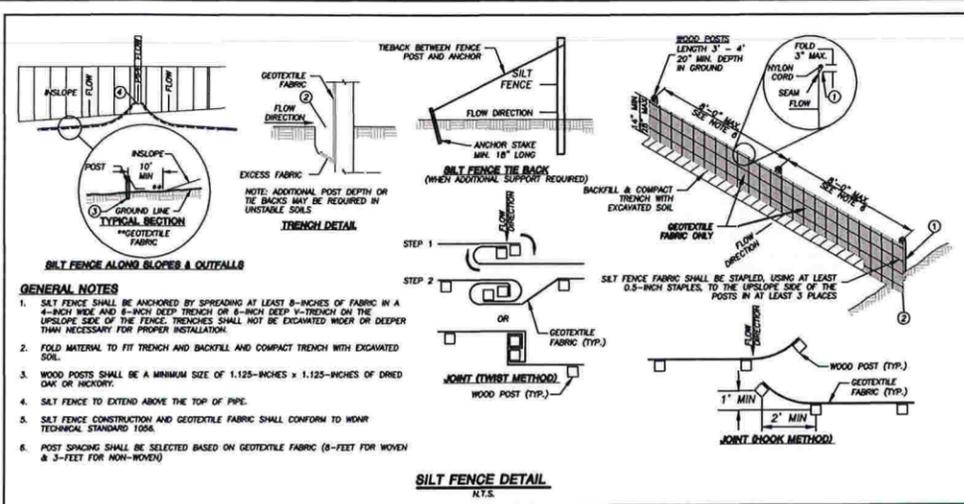
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SHEET TITLE:
**BUILDING 6
SITE UTILITY
PLAN**

SHEET NUMBER:
C306

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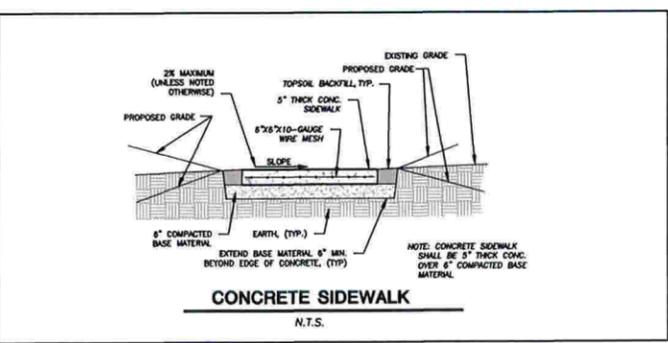
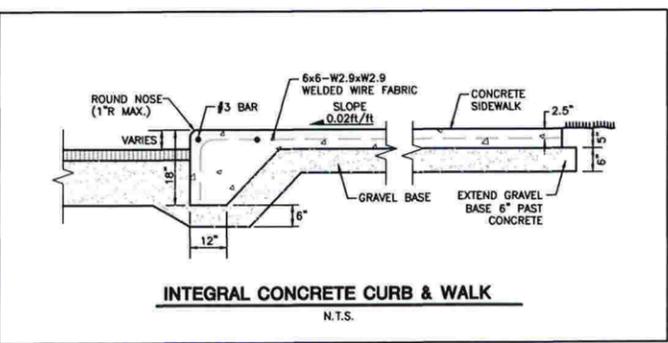
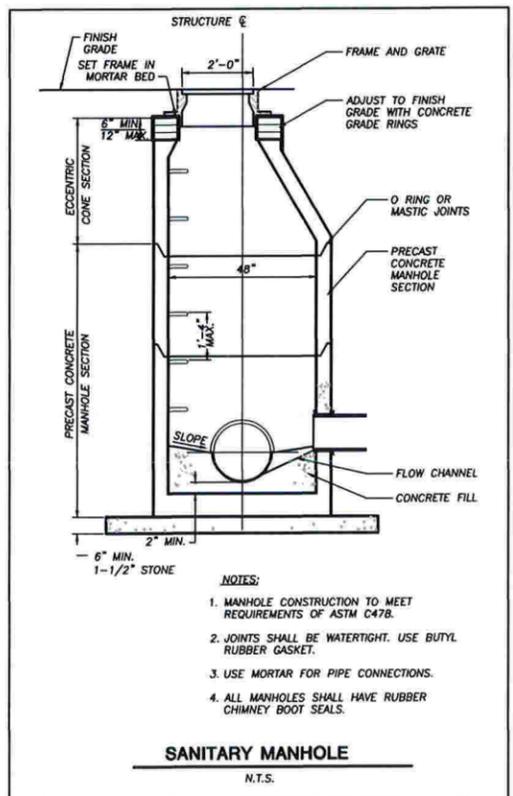
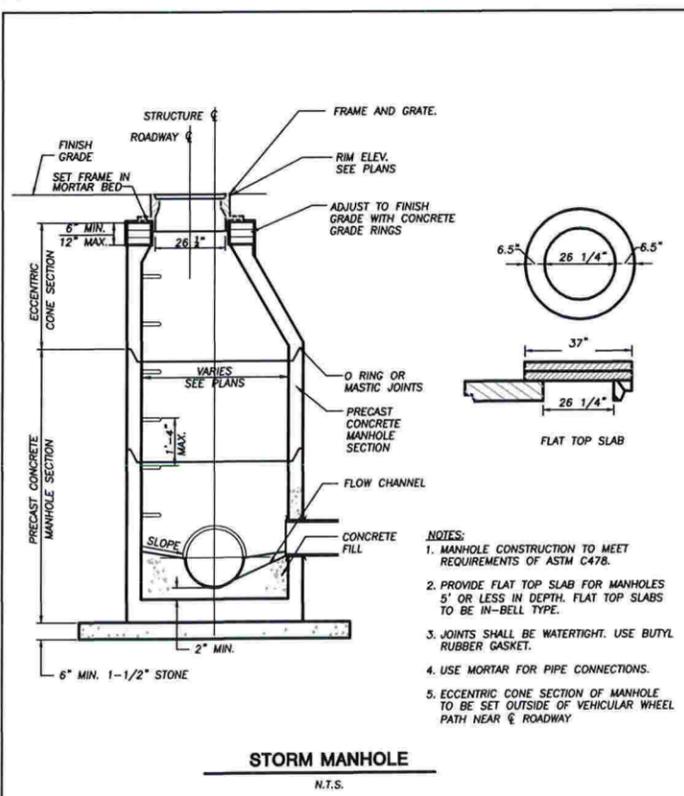
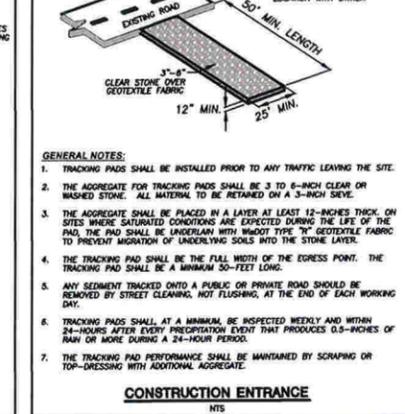
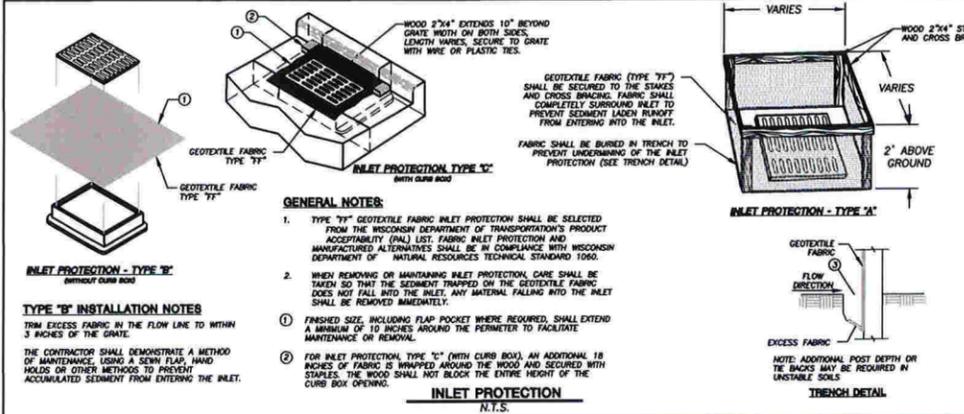


GENERAL NOTES AND SPECIFICATIONS

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES DISCOVERED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON THEIR OWN COMPUTATIONS AND UNDER NO CIRCUMSTANCES BE BASED ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN THEIR ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS IN OBTAINING PERMITS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND "DIGGER'S HOTLINE" IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS. CONTRACTOR IS RESPONSIBLE TO DETERMINE WHICH ORDINANCES/CODES/RULES/ETC. ARE APPLICABLE.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, JSD, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- ALL FIELD/RAIN TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE IMMEDIATELY REPORTED TO ENGINEER/OWNER. TILES ORIGINATING OUTSIDE THE PROJECT LIMITS SHALL BE RECONNECTED OR REROUTED TO MAINTAIN DRAINAGE. ENGINEER/OWNER SHALL DETERMINE THE MOST FAVORABLE METHOD OF RE-ESTABLISHMENT OF OFFSITE DRAINAGE. IF TILE IS ENCOUNTERED DURING TRENCH EXCAVATIONS, RE-ESTABLISHING TILE FUNCTIONALITY SHALL BE CONSIDERED AN INCIDENTAL EXPENSE.

EROSION AND SEDIMENT CONTROL NOTES:

- ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN WISCONSIN'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND VILLAGE OF WINDSOR ORDINANCE. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY JSD PROFESSIONAL SERVICES, INC. OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY JSD/MUNICIPALITY PRIOR TO DEVIATION OF THE APPROVED PLAN.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
- PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE GOVERNING AGENCIES.
- ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.
- AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED THROUGHOUT CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
- TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
- EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER PRIOR TO THE COMPLETION OF EACH WORK DAY.
- MAINTAIN SOIL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
- PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DERTED OUTSIDE THE PROJECT LIMITS.
- GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF THIRTY (30) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
- ALL DISTURBED SLOPES EXCEEDING 4:1 YET LESS THAN 3:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75BN EROSION MATTING (OR APPROVED EQUAL) AND DISTURBED SLOPES EXCEEDING 3:1 YET LESS THAN 2:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C125BN (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
- QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH THE WRAPP GENERAL PERMIT AND LOCAL REQUIREMENTS. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
- THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN. UPON IDENTIFICATION, DEFICIENCIES IN STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THE BELOW.
 - SILT FENCE - REPAIR OR REPLACE ANY DAMAGED FILTER FABRIC AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE ABOVE GROUND HEIGHT OF THE FENCE.
 - CONSTRUCTION ENTRANCE - AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS.
 - INLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS SHALL BE REPLACED ONCE BAG BECOMES ONE-HALF FULL OF SEDIMENT.



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- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5080 PHONE | 608.848.2255 FAX

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PROJECT:
WINDSOR CROSSING MULTI-FAMILY DEVELOPMENT

PROJECT LOCATION:
VILLAGE OF WINDSOR
DANE COUNTY, WI

JSD PROJECT NO.: 15-7097A-B

SEAL/SIGNATURE:

PRELIMINARY

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	SJK	02-29-16
DRAWN:	SJK	02-29-16
APPROVED:	RWI	03-02-16

PLAN MODIFICATIONS:	DATE:
VILLAGE SUBMITTAL	03-02-16
VILLAGE SUBMITTAL	04-07-16
VILLAGE SUBMITTAL	04-29-16

DESIGN:	SJK	02-29-16
DRAWN:	SJK	02-29-16
APPROVED:	RWI	03-02-16

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Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
SITE NOTES AND DETAILS

SHEET NUMBER:
C400

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SERVICES PROVIDED TO:



PROJECT:
**WINDSOR CROSSING
 MULTI-FAMILY
 DEVELOPMENT**

PROJECT LOCATION:
 VILLAGE OF WINDSOR
 DANE COUNTY, WI
 JSD PROJECT NO.: 15-7097A-B

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SHEET TITLE:
**SITE NOTES
 AND DETAILS**

SHEET NUMBER:
C401

Street Slope	Ramp Length @ 1"/ft [0.083]	
	L LOW SIDE *	L HIGH SIDE *
0.01	5'-5"	6'-10"
0.02	4'-10"	7'-11"
0.03	4'-5"	9'-5"
0.04	4'-1"	11'-8"
0.05	3'-9"	15'-2"

* Measured along the back of a 6" high curb.

$$L_{HIGH} = \frac{Curb\ ht.}{0.083 - Street\ Slope}$$

$$L_{LOW} = \frac{Curb\ ht.}{0.083 + Street\ Slope}$$

LEGEND

- 1 May be reduced to 3'-0" in existing sidewalks if the landing is unconstrained along the back edge.
- 2 May be reduced to 3'-4" in existing sidewalks to better fit the walk configuration or where site conditions are restricted by narrow walks, pole foundations, drainage inlets, etc. The width may be tapered.
- 3 Where landing width (D) has been reduced to 3'-0" the flared sides shall have a maximum slope of 12:1. Flared sides are not required where the edges of a curb ramp are protected by landscaping or other barriers to travel by wheel chair users or pedestrians across the edge of the curb ramp. However, if the flared sides are used in these areas, they may be of any slope.
- 4 The slope of the ramp toward the curb is preferred to be 12:1 or flatter related to the horizontal, but the maximum slope shall be 12:1 relative to the existing or proposed walk slope. In existing sidewalks, where the maximum ramp slope (S) is not feasible, it may be reduced as follows:
 A) 10:1 for a max. rise of 6".
 B) 8:1 for a max. rise of 3".
- 5 The minimum length of a perpendicular ramp is 6' from the back of a 6" curb and may be increased where feasible to obtain a flatter ramp slope or to better blend with the walk configuration.
- 6 Gutter counter slopes at the foot of perpendicular curb ramps should not exceed 20:1 over a distance of 2'-0" from the curb.
- 7 Dimensions derived by equation are nominal. Construct ramps to meet required slopes and existing conditions.
- 8 Detectable Warnings (truncated domes) are to be installed in the location shown. Dimensions of the domes are 24" from the back of the curb by the width of the ramp.

NOTES

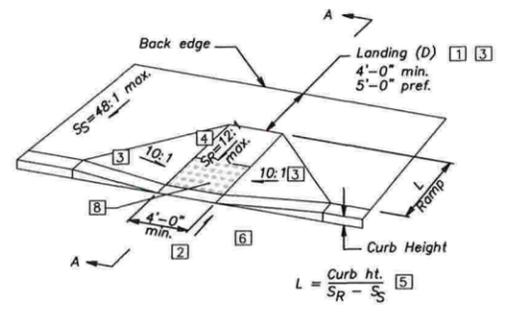
SURFACE TEXTURE: Texture of concrete surfaces shall be obtained by coarse brooming transverse to the ramp slopes and shall be rougher than adjacent walk.

TRUNCATED DOMES: Install detectable warnings (truncated domes) for a distance of 24" from the back of the curb for the entire width of the ramp opening as shown on details on Sheet 1.

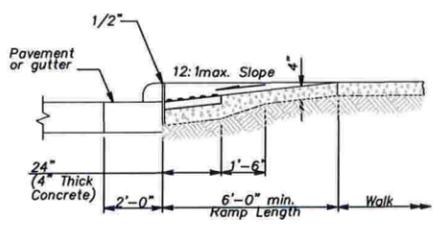
Acceptable manufacturers and products are:
 MetaDome, LLC
 2136 E. Dayton Street, Madison, WI 53704
 Tel/Fax: 608-249-8644
 MetaPanel, Stainless steel with skid-resistant coatings.

The surface of any two adjacent units should not differ by more than 1/8" in height. Bricks shall be placed in a running bond pattern. Face of all brick shall be clean of cement and protected so as to avoid chipping during construction.

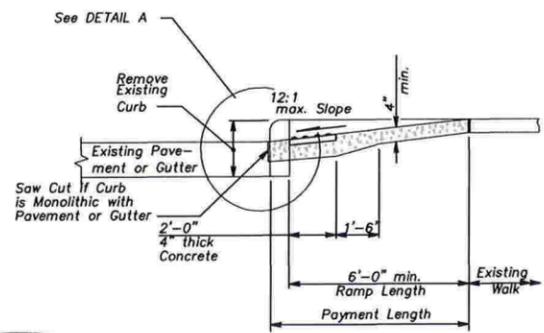
EXPANSION JOINTS: shall be provided in the curb ramp as extensions of walk joints and consistent with requirements for a new concrete walk. A 1/2" shall be provided around the edge of ramps built in existing concrete walk. Lines shown on this drawing indicate the ramp edge and slope changes and are not necessarily joint lines.



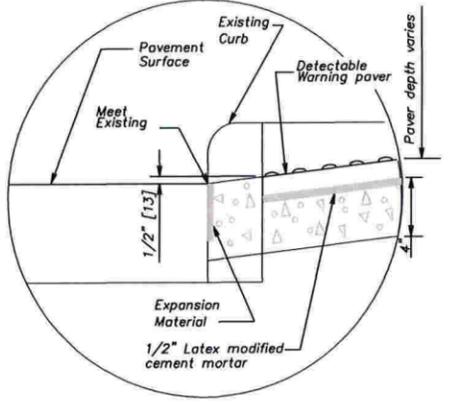
PERPENDICULAR CURB RAMP DETAIL



SECTION A-A (Gutter shown)



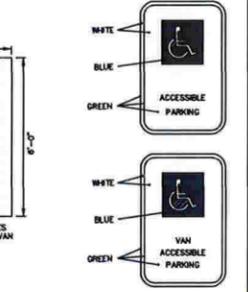
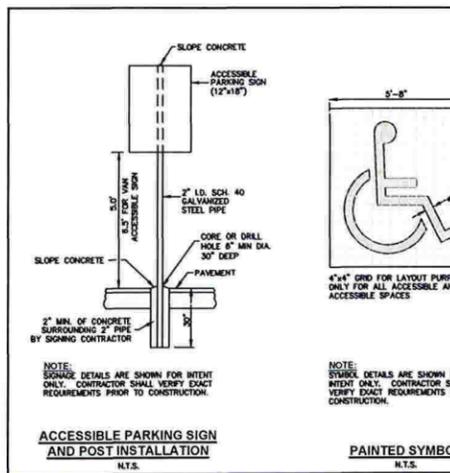
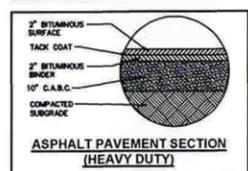
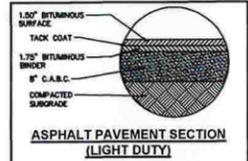
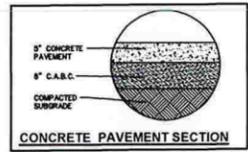
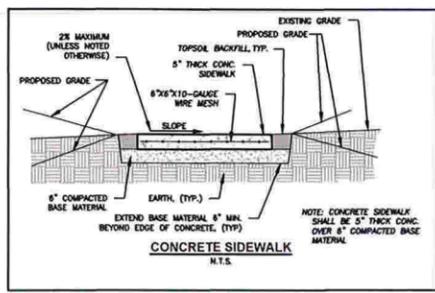
SECTION A-A Existing Walk Detail



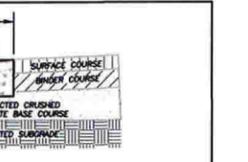
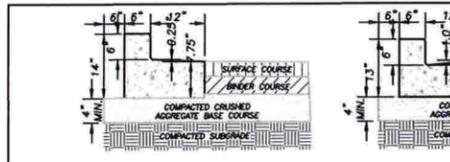
DETAIL A

ADA RAMP DETAIL

N.T.S.

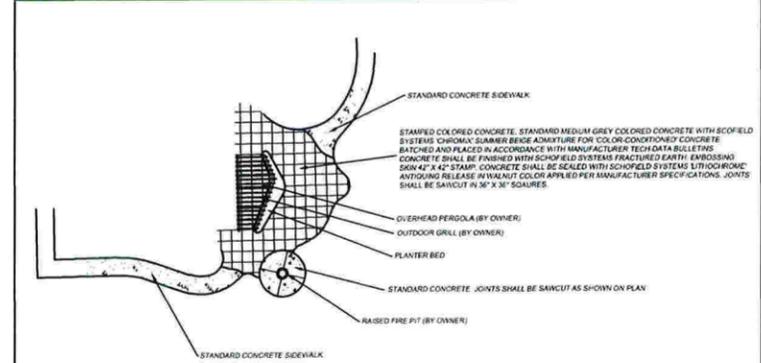
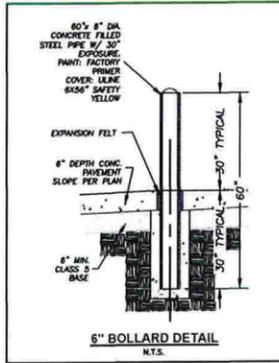


SIGN DETAILS N.T.S.



18" STANDARD CURB & GUTTER N.T.S.

- GENERAL NOTES**
1. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15 FEET NOR LESS THAN 8 FEET. THE JOINTS SHALL BE A MINIMUM OF 3 INCHES IN DEPTH.
 2. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200 FEET OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER OF RECORD. THE EXPANSION JOINT FILLER SHALL BE A ONE PIECE FIBER BOARD OR THE APPROVED EQUIVALENT MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 0.5 INCH THICK.
 3. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.



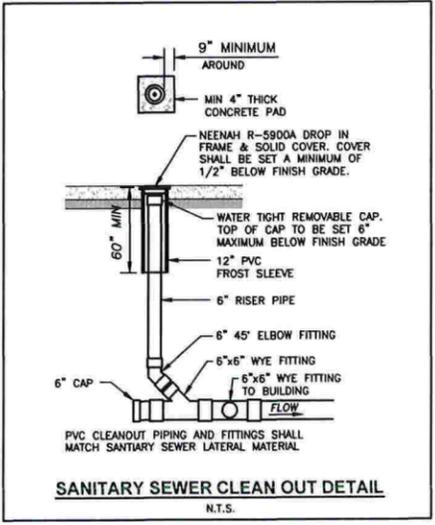
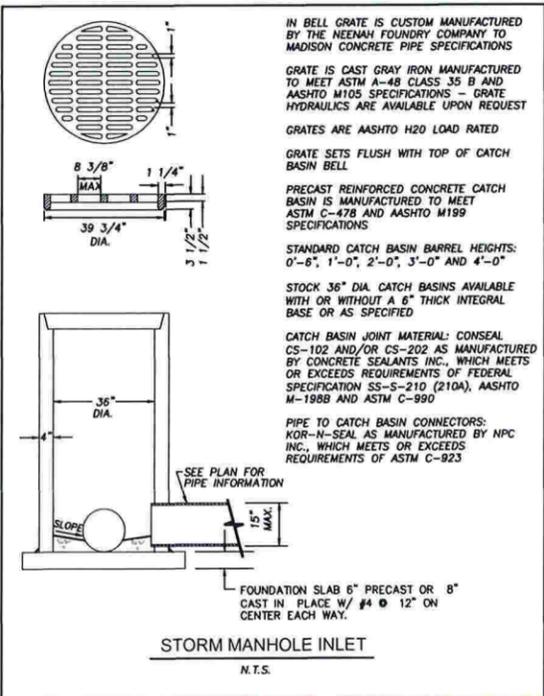
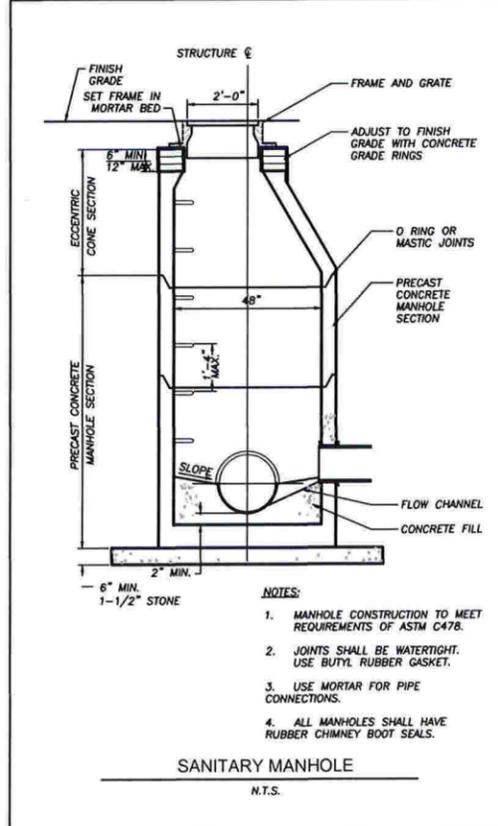
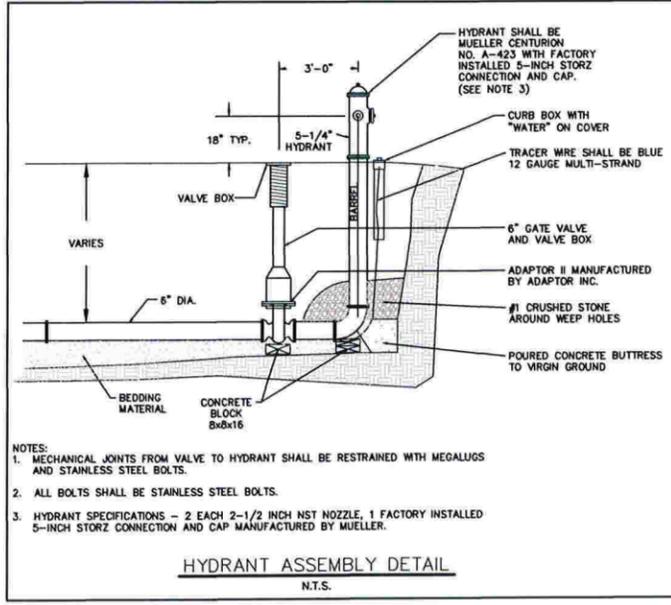
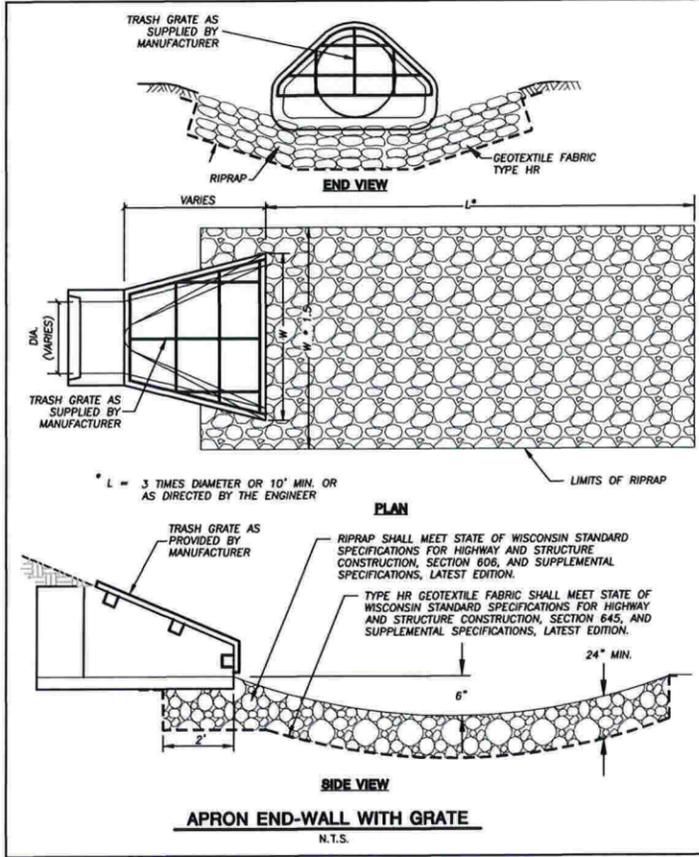
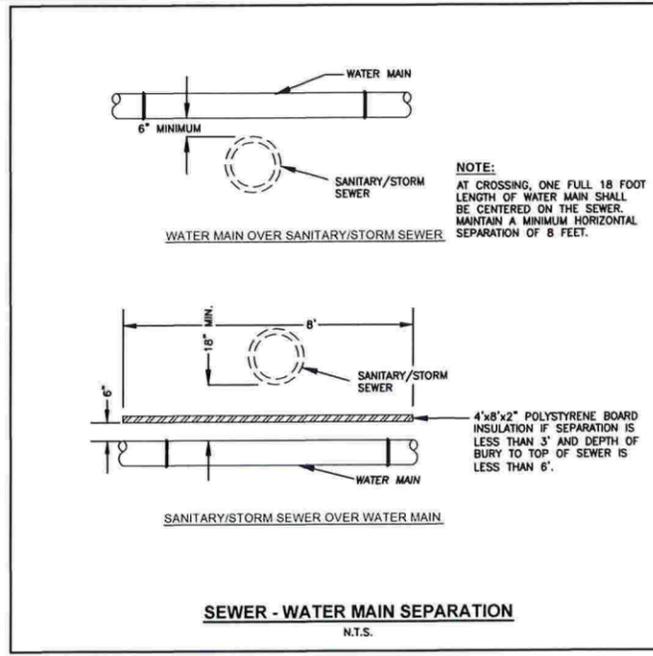
PATIO DETAIL N.T.S.

File: R: 201515C7097A Windsor Crossing.dwg 15-7097B SHEET DETAILS Multi Family.dwg Layout: C401 User: skrzynski Plotted: Apr 07, 2016 11:47am Xref's:

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UTILITY NOTES

- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- ALL WORK IN THE RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND VILLAGE OF WINDSOR REQUIREMENTS. SANITARY SEWER WITHIN THE RIGHT OF WAY SHALL BE SDR 35 OR SDR 26 IF THE DEPTH IS OVER 20 FEET.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE VILLAGE OF WINDSOR AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
- ALL PRIVATE WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6" MINIMUM BURY.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WOSPS, AND WDRN.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - *EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - *OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - *VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - *NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - *NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION OR INSPECTION AS REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL NOTIFY THE VILLAGE OF WINDSOR UTILITY A MINIMUM OF 48 HOURS BEFORE CONNECTING TO ANY PUBLIC UTILITIES.
- ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-6.
- ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-7.
- ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 8' OF HORIZONTAL DISTANCE AND 18 INCHES OF VERTICAL DISTANCE BETWEEN WATER PIPING CROSSING OVER SANITARY SEWER. PROVIDE A MINIMUM OF 6" OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.



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PROJECT:
**WINDSOR CROSSING
MULTI-FAMILY
DEVELOPMENT**

PROJECT LOCATION:
VILLAGE OF WINDSOR
DANE COUNTY, WI

JSD PROJECT NO.: 15-7097A-B

SEAL/SIGNATURE:

PRELIMINARY

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	SJK	02-29-16
DRAWN:	SJK	02-29-16
APPROVED:	RWI	03-02-16
PLAN MODIFICATIONS:		DATE:
VILLAGE SUBMITTAL		03-02-16
VILLAGE SUBMITTAL		04-07-16
VILLAGE SUBMITTAL		04-29-16

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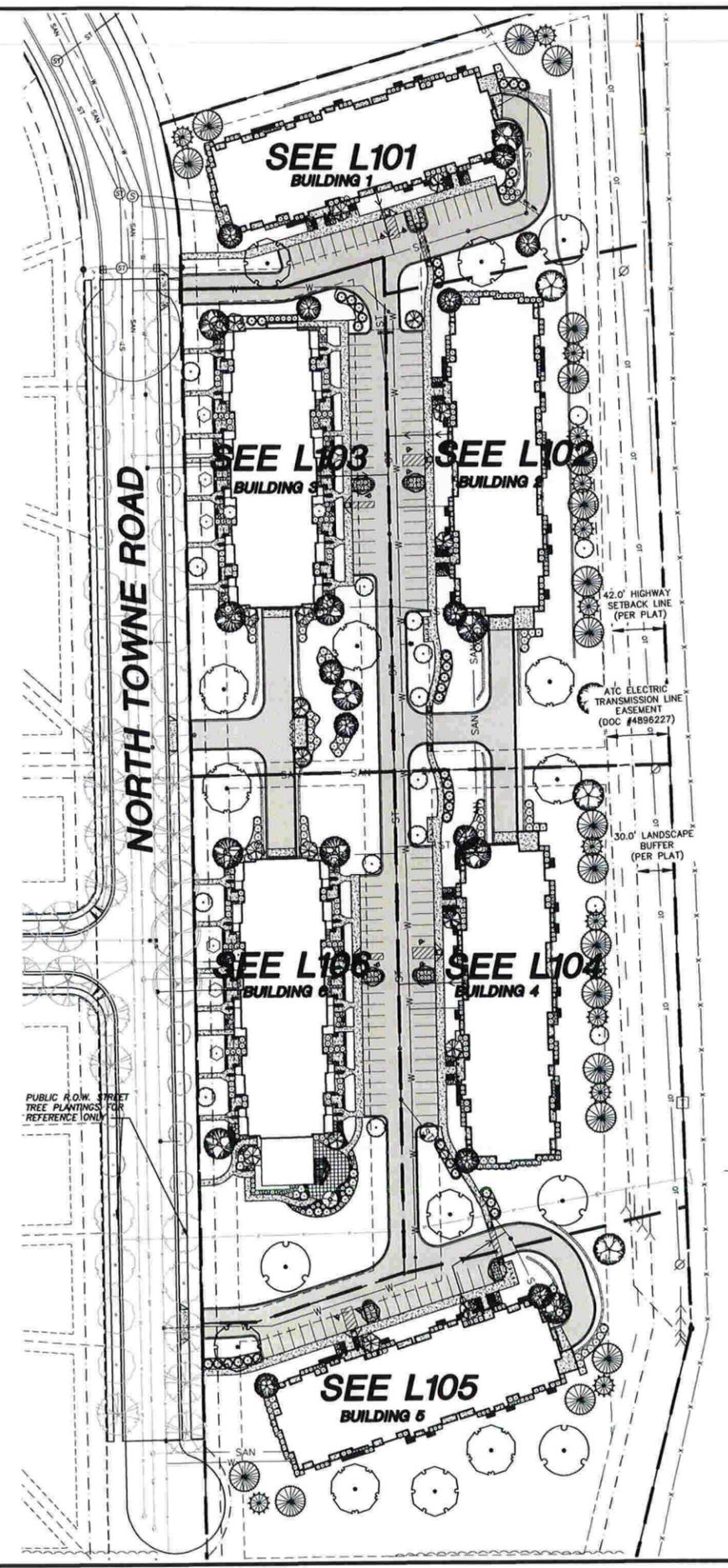
SHEET TITLE:
**SITE NOTES
AND DETAILS**

SHEET NUMBER:
C402

File: R:\2015\1507097A Windsor Crossing\dwg\15-7097B SHEET DETAILS Multi Family.dwg Layout: C402 User: akrymski Plotdate: Apr 07, 2016 11:47am href:

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LANDSCAPE PLAN MASTER SCHEDULE

PLANT SCHEDULE							
TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY
	CRA VIR	Crataegus viridis 'Winter King' / 'Winter King' Hawthorn	B & B	1.5'-2.0'	25'	30'	11
	MAL IOW	Malus ioensis / Iowa Crab Apple	B & B	1.5'-2.0'	20'	20'	13
	MAL MAR	Malus x 'Mary Potter' / Crab Apple	B & B	1.5'-2.0'	12'	16'	17
	OST VIR	Ostrya virginiana / American Hopbloom	B & B	1.5'-2.0'	25'	15'	23
	PIC GLA	Picea glauca / White Spruce	15 gal	6 ft tall min.	50'	15'	14
	PIN STR	Pinus strobus / White Pine	15 gal	2.5' Cal	75'	30'	20
	PRU SAR	Prunus sargentii / Sargent Cherry	B & B	1.5'-2.0'	30'	30'	4
	QUE MUE	Quercus muehlenbergii / Chinquapin Oak	B & B	2.5' Cal	75'	75'	4
	QUE RUB	Quercus rubra / Red Oak	B & B	2.5' Cal	75'	75'	5
	QUE SCH	Quercus x schweffii / Swamp Bar Oak	B & B	2.5' Cal	80'	80'	7
	THU H11	Thuja occidentalis 'Hetz Wintergreen' / Hetz Wintergreen Arborvitae	15 gal	6 ft tall min.	25'	8'	42
	THU TR3	Thuja occidentalis 'Treadman' / American Arborvitae	10 gal	6 ft tall min.	30'	15'	3
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY
	ARO MOR	Aronia melanocarpa Morton TM / Inquis Beauty Black Chokeberry	3 gal	Min. 2 ft tall	3'	5'	262
	BUX CHI	Buxus x 'Chicagoland Green' TM / Glencoe Boxwood	3 gal	Min. 2 ft tall	3'	5'	24
	BUX G31	Buxus x 'Green Mound' / Green Mound Boxwood	3 gal	Min. 2 ft tall	3'	3'	38
	ILE VER	Ilex verticillata 'Jim Dandy' / Jim Dandy Winterberry	3 gal	Min. 2 ft tall	5'	5'	6
	ILE RED	Ilex verticillata 'Red Sprite' / Red Sprite Winterberry	3 gal	Min. 2 ft tall	4'	4'	65
	SYM ALB	Symphoricarpos albus / Common White Snowberry	3 gal	Min. 2 ft tall	5'	5'	183
	VIB ARR	Viburnum dentatum / Viburnum	3 gal	Min. 2 ft tall	6'	6'	126
	VIB AM3	Viburnum opulus 'Americanum Compactum' / European Cranberrybush	3 gal	Min. 2 ft tall	6'	6'	72
	VIB NAN	Viburnum opulus 'Nanum' / Dwarf European Viburnum	3 gal	Min. 2 ft tall	2'	3'	159
	VIB BLA	Viburnum prunifolium / Blackhaw Viburnum	3 gal	Min. 2 ft tall	12'	15'	10
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY
	AGA 238	Agastache foeniculum / Blue Giant Hyssop	4" Pot or Equivalent	CONT	3'	2'	123
	ALL STE	Allium stellatum / Prairie Onion	4" Pot or Equivalent	CONT	1.5'	1.5'	152
	CAR MUS	Carex muskingumensis / Palm Sedge	4" Pot or Equivalent	CONT	2'	1.5'	138
	COR PAL	Coreopsis palmata / Stiff Tickseed	4" Pot or Equivalent	CONT	2'	2'	44
	ECH ALB	Echinacea purpurea 'Alba' / White Coneflower	4" Pot or Equivalent	CONT	3'	3'	64
	ECH GRE	Echinacea purpurea 'Green Envy' / Green Envy Coneflower	4" Pot or Equivalent	CONT	3'	3'	116
	EUP LIT	Eupatorium purpureum 'Little Joe' / Dwarf Joe-Pye Weed	4" Pot or Equivalent	CONT	4'	4'	45
	HEU RIC	Heuchera richardsonii / Prairie Alum Root	4" Pot or Equivalent	CONT	2'	2'	80
	MOI MO2	Molinia caerulea 'Moorhere' / Moor Grass	1 quart pot	CONT	3'	1.5'	455
	PHL BL4	Phlox divaricata 'Blue Moon' / Blue Moon Phlox	4" Pot or Equivalent	CONT	1'	1'	192
	PHY VIR	Physostegia virginiana / Obedient Plant	4" Pot or Equivalent	CONT	4'	4'	44
	PHY ALB	Physostegia virginiana 'Alba' / Obedient Plant White	4" Pot or Equivalent	CONT	4'	4'	142
	RUD SUS	Rudbeckia fulgida sultivansi / Black-Eyed Susan	4" Pot or Equivalent	CONT	3'	3'	40
	RUD TRI	Rudbeckia triloba / Brown-eyed Susan	4" Pot or Equivalent	CONT	3'	3'	140
	STA H13	Stachys officinalis 'Hummelo' / Hummel Stachys	4" Pot or Equivalent	CONT	2'	2'	148

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT-STANDARD DUTY
- ST - STORM SEWER
- SAN - SANITARY SEWER
- W - WATER UTILITY
- POLYETHYLENE EDGING



- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
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 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
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 - REFER TO SHEET L200 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN

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PROJECT:
**WINDSOR CROSSING
 MULTI-FAMILY
 DEVELOPMENT**

PROJECT LOCATION:
 VILLAGE OF WINDSOR
 DANE COUNTY, WI

JSD PROJECT NO.: 15-7027

SEAL/SIGNATURE:

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DESIGN: KAS	03-02-2016
DRAWN: KAS	03-02-2016
APPROVED:	
PLAN MODIFICATIONS:	DATE:
VILLAGE SUBMITTAL	03-02-2016
VILLAGE SUBMITTAL	04-07-2016
VILLAGE SUBMITTAL	04-07-2016

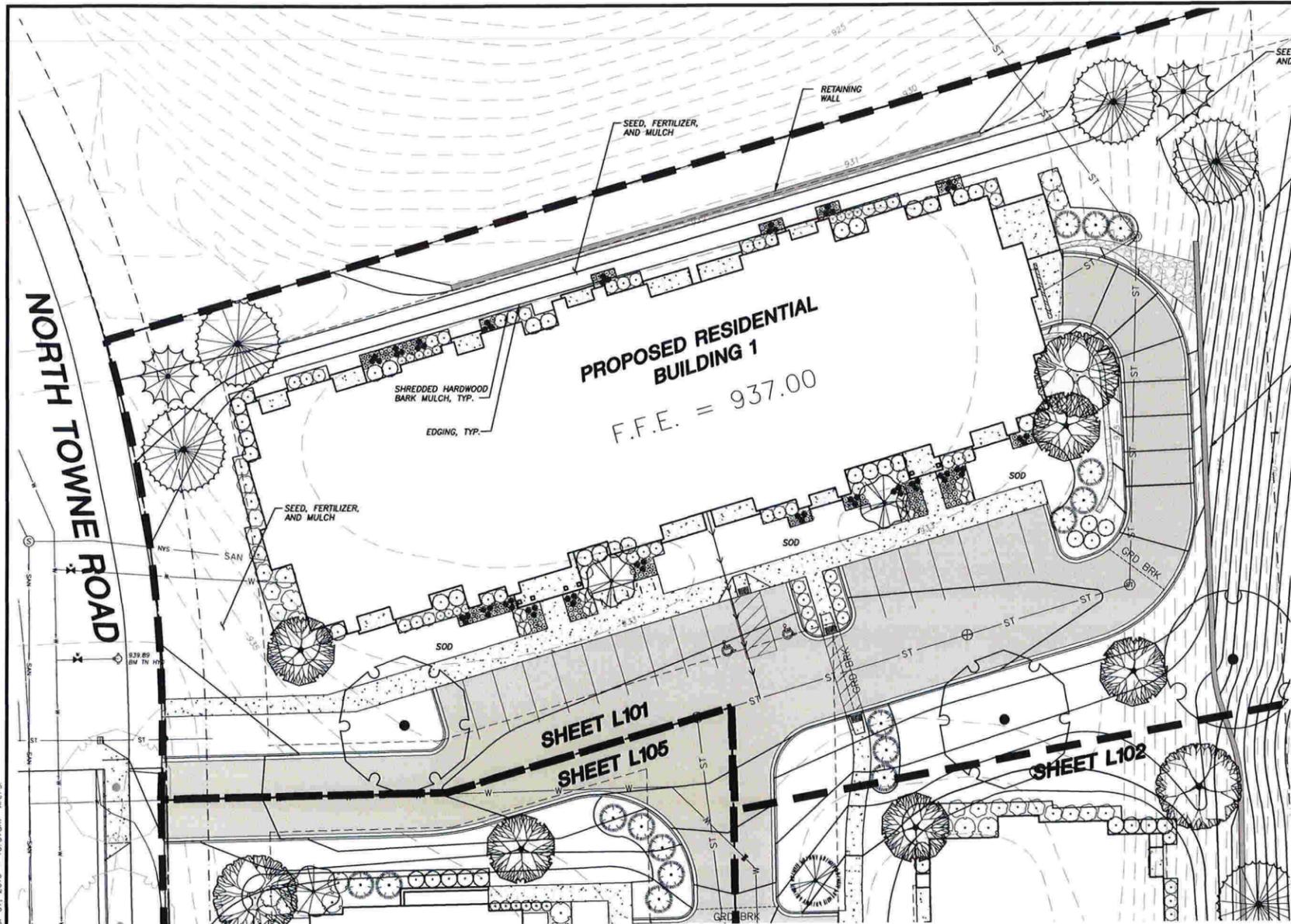
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SHEET TITLE:
**OVERALL
 LANDSCAPE
 PLAN**

SHEET NUMBER:
L100

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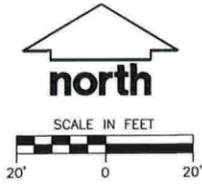


PLANT SCHEDULE BUILDING 1

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY
	CRA VIR	Crataegus viridis 'Winter King' / 'Winter King' Hawthorn	B & B	1.5'x2.0"	25'	30'	1
	MAL IOW	Malus ioensis / Iowa Crab Apple	B & B	1.5'x2.0"	20'	20'	3
	MAL MAR	Malus x 'Mary Potter' / Crab Apple	B & B	1.5'x2.0"	12'	16'	2
	PIC GLA	Picea glauca / White Spruce	15 gal	6 ft tall min.	50'	15'	2
	PIN STR	Pinus strobus / White Pine	15 gal	2.5'cal	75'	30'	4
	QUE MUE	Quercus muehlenbergii / Chinquapin Oak	B & B	2.5'cal	75'	75'	1
	QUE RUB	Quercus rubra / Red Oak	B & B	2.5'cal	75'	75'	2
	THU H11	Thuja occidentalis 'Hetz Wintergreen' / 'Hetz Wintergreen Arborvitae	15 gal	6 ft tall min.	25'	8'	9
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY
	ARO MOR	Aronia melanocarpa 'Morton' TM / Inquis Beauty Black Chokeberry	3 gal	Min. 2 ft tall	3'	5'	45
	ILE RED	Ilex verticillata 'Red Sprite' / 'Red Sprite Winterberry	3 gal	Min. 2 ft tall	4'	4'	8
	SYM ALB	Symphoricarpos albus / Common White Snowberry	3 gal	Min. 2 ft tall	5'	5'	32
	VIB ARR	Viburnum dentatum / Viburnum	3 gal	Min. 2 ft tall	6'	6'	5
	VIB AM3	Viburnum opulus 'Americanum Compactum' / European Cranberrybush	3 gal	Min. 2 ft tall	6'	6'	9
	VIB NAN	Viburnum opulus 'Nanum' / Dwarf European Viburnum	3 gal	Min. 2 ft tall	2'	3'	13
ANNUAL PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY
	AGA Z38	Agastache foeniculum / Blue Giant Hyssop	4" Pot or Equivalent	CONT	3'	2'	16
	ALL STE	Allium stellatum / Prairie Onion	4" Pot or Equivalent	CONT	1.5'	1.5'	24
	ECH ALB	Echinacea purpurea 'Alba' / White Coneflower	4" Pot or Equivalent	CONT	3'	3'	17
	ECH GRE	Echinacea purpurea 'Green Envy' / Green Envy Coneflower	4" Pot or Equivalent	CONT	3'	3'	11
	EUP LIT	Eupatorium purpureum 'Little Joe' / Dwarf Joe-Pye Weed	4" Pot or Equivalent	CONT	4'	4'	5
	HEU RIC	Heuchera richardsonii / Prairie Alum Root	4" Pot or Equivalent	CONT	2'	2'	7
	MOL MO2	Molinia caerulea 'Moonhexe' / Moor Grass	1 quart pot	CONT	3'	1.5'	63
	PHL BL4	Phlox divaricata 'Blue Moon' / Blue Moon Phlox	4" Pot or Equivalent	CONT	1'	1'	15
	PHY VIR	Physostegia virginiana / Obedient Plant	4" Pot or Equivalent	CONT	4'	4'	4
	PHY ALB	Physostegia virginiana 'Alba' / Obedient Plant White	4" Pot or Equivalent	CONT	4'	4'	12
	RUD TRI	Rudbeckia triloba / Broomeyed Susan	4" Pot or Equivalent	CONT	3'	3'	27
	STA H13	Stachys officinalis 'Hummelo' / Hummelo Stachys	4" Pot or Equivalent	CONT	2'	2'	12

- LEGEND**
- PROPERTY LINE
 - RIGHT-OF-WAY
 - EASEMENT LINE
 - EDGE OF PAVEMENT
 - STANDARD CURB AND GUTTER
 - REJECT CURB AND GUTTER
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT PAVEMENT-STANDARD DUTY
 - ST STORM SEWER
 - SAN SANITARY SEWER
 - W WATER UTILITY
 - POLYETHYLENE EDGING

- GENERAL NOTES**
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PROJECT:
WINDSOR CROSSING MULTI-FAMILY DEVELOPMENT

PROJECT LOCATION:
 VILLAGE OF WINDSOR
 DANE COUNTY, WI
 JSD PROJECT NO.: 15-7027

SEAL/SIGNATURE:

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DESIGN: KAS 03-02-2016
 DRAWN: KAS 03-02-2016
 APPROVED:

PLAN MODIFICATIONS:	DATE:
VILLAGE SUBMITTAL	03-02-2016
VILLAGE SUBMITTAL	04-07-2016
VILLAGE SUBMITTAL	04-07-2016

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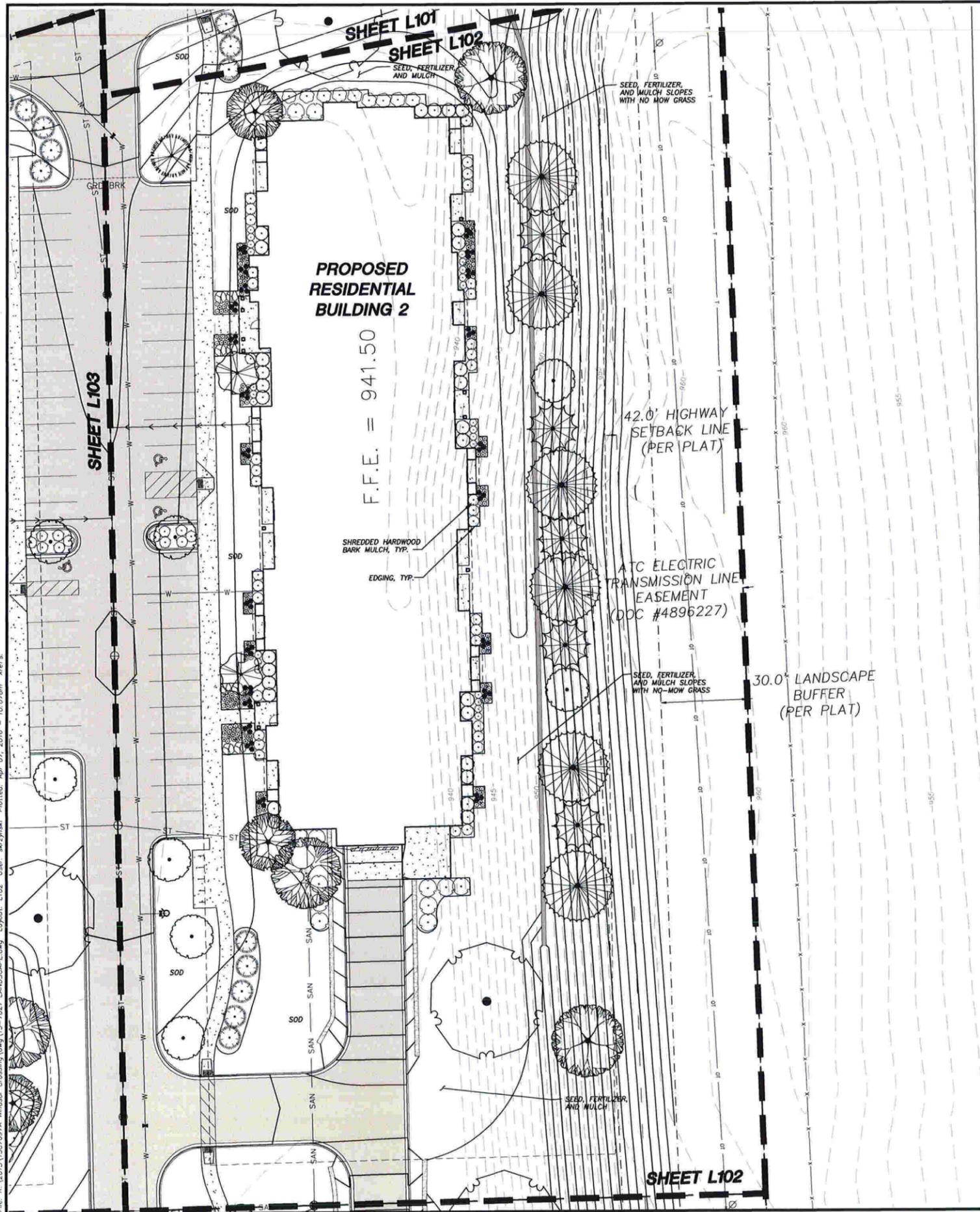
SHEET TITLE:
**BUILDING 1
 LANDSCAPE
 PLAN**

SHEET NUMBER:
L101

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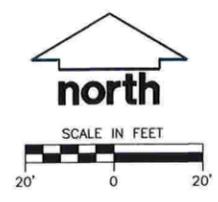
LEGEND

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY
- · - · -	EASEMENT LINE
=====	EDGE OF PAVEMENT
=====	STANDARD CURB AND GUTTER
=====	REJECT CURB AND GUTTER
▨	PROPOSED CONCRETE
▩	PROPOSED ASPHALT PAVEMENT-STANDARD DUTY
ST	STORM SEWER
SAN	SANITARY SEWER
W	WATER UTILITY
---	POLYETHYLENE EDGING

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PLANT SCHEDULE BUILDING 2

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY
	CRA VIR	<i>Crataegus viridis</i> / Winter King / Winter King Hawthorn	B & B	1.5'-2.0"	25'	30'	1
	MAL IOW	<i>Malus ioensis</i> / Iowa Crab Apple	B & B	1.5'-2.0"	20'	20'	2
	MAL MAR	<i>Malus x Mary Potter</i> / Crab Apple	B & B	1.5'-2.0"	12'	18'	2
	OST VIR	<i>Ostrya virginiana</i> / American Hophornbeam	B & B	1.5'-2.0"	25'	15'	6
	PIC GLA	<i>Picea glauca</i> / White Spruce	15 gal	6 ft tall min.	50'	15'	5
	PIN STR	<i>Pinus strobus</i> / White Pine	15 gal	2.5' Cal	75'	30'	6
	PRU SAR	<i>Prunus sargentii</i> / Sargent Cherry	B & B	1.5'-2.0"	30'	30'	2
	QUE SCH	<i>Quercus x schweffi</i> / Swamp Bur Oak	B & B	2.5' Cal	80'	80'	1
	THU H11	<i>Thuja occidentalis</i> / Heitz Wintergreen / Heitz Wintergreen Arborvitae	15 gal	6 ft tall min.	25'	8'	5
	THU TR3	<i>Thuja occidentalis</i> / Trautman / American Arborvitae	10 gal	6 ft tall min.	30'	15'	1
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY
	ARO MOR	<i>Aronia melanocarpa</i> / Morton™ / Iroquois Beauty Black Chokeberry	3 gal	Min. 2 ft tall	3'	5'	42
	ILE RED	<i>Ilex verticillata</i> / Red Sprite / Red Sprite Winterberry	3 gal	Min. 2 ft tall	4'	4'	8
	SYM ALB	<i>Symphoricarpos albus</i> / Common White Snowberry	3 gal	Min. 2 ft tall	5'	5'	30
	VIB ARR	<i>Viburnum dentatum</i> / Viburnum	3 gal	Min. 2 ft tall	6'	6'	13
	VIB AM3	<i>Viburnum opulus</i> / Americanum Compactum / European Cranberrybush	3 gal	Min. 2 ft tall	6'	6'	9
	VIB NAN	<i>Viburnum opulus</i> / Nanum / Dwarf European Viburnum	3 gal	Min. 2 ft tall	2'	3'	23
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY
	AGA 238	<i>Agastache foeniculum</i> / Blue Giant Hyssop	4" Pot or Equivalent	CONT	3'	2'	9
	ALL STE	<i>Allium stellatum</i> / Prairie Onion	4" Pot or Equivalent	CONT	1.5'	1.5'	28
	COR PAL	<i>Coreopsis palmata</i> / Stiff Tickseed	4" Pot or Equivalent	CONT	2'	2'	6
	ECH ALB	<i>Echinacea purpurea</i> / Alba / White Coneflower	4" Pot or Equivalent	CONT	3'	3'	13
	ECH GRE	<i>Echinacea purpurea</i> / Green Envy / Green Envy Coneflower	4" Pot or Equivalent	CONT	3'	3'	11
	HEU RIC	<i>Heuchera richardsonii</i> / Prairie Alum Root	4" Pot or Equivalent	CONT	2'	2'	7
	MOL MO2	<i>Molinia caerulea</i> / Moorhaze / Moor Grass	1 quart pot	CONT	3'	1.5'	69
	PHL BL4	<i>Phlox divaricata</i> / Blue Moon / Blue Moon Phlox	4" Pot or Equivalent	CONT	1'	1'	16
	PHY VIR	<i>Physostegia virginiana</i> / Obedient Plant	4" Pot or Equivalent	CONT	4'	4'	7
	PHY ALB	<i>Physostegia virginiana</i> / Alba / Obedient Plant White	4" Pot or Equivalent	CONT	4'	4'	15
	RUD SUS	<i>Rudbeckia fulgida sultivansi</i> / Black-Eyed Susan	4" Pot or Equivalent	CONT	3'	3'	8
	RUD TRI	<i>Rudbeckia triloba</i> / Brown-eyed Susan	4" Pot or Equivalent	CONT	3'	3'	15
	STA H13	<i>Stachys officinalis</i> / Hummel / Hummel Stachys	4" Pot or Equivalent	CONT	2'	2'	21



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PROJECT:
**WINDSOR CROSSING
MULTI-FAMILY
DEVELOPMENT**

PROJECT LOCATION:
VILLAGE OF WINDSOR
DANE COUNTY, WI

JSD PROJECT NO.: 15-7027

SEAL/SIGNATURE:

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DESIGN: KAS 03-02-2016

DRAWN: KAS 03-02-2016

APPROVED:

PLAN MODIFICATIONS:	DATE:
VILLAGE SUBMITTAL	03-02-2016
VILLAGE SUBMITTAL	04-07-2016
VILLAGE SUBMITTAL	04-07-2016

DIGGERS HOTLINE

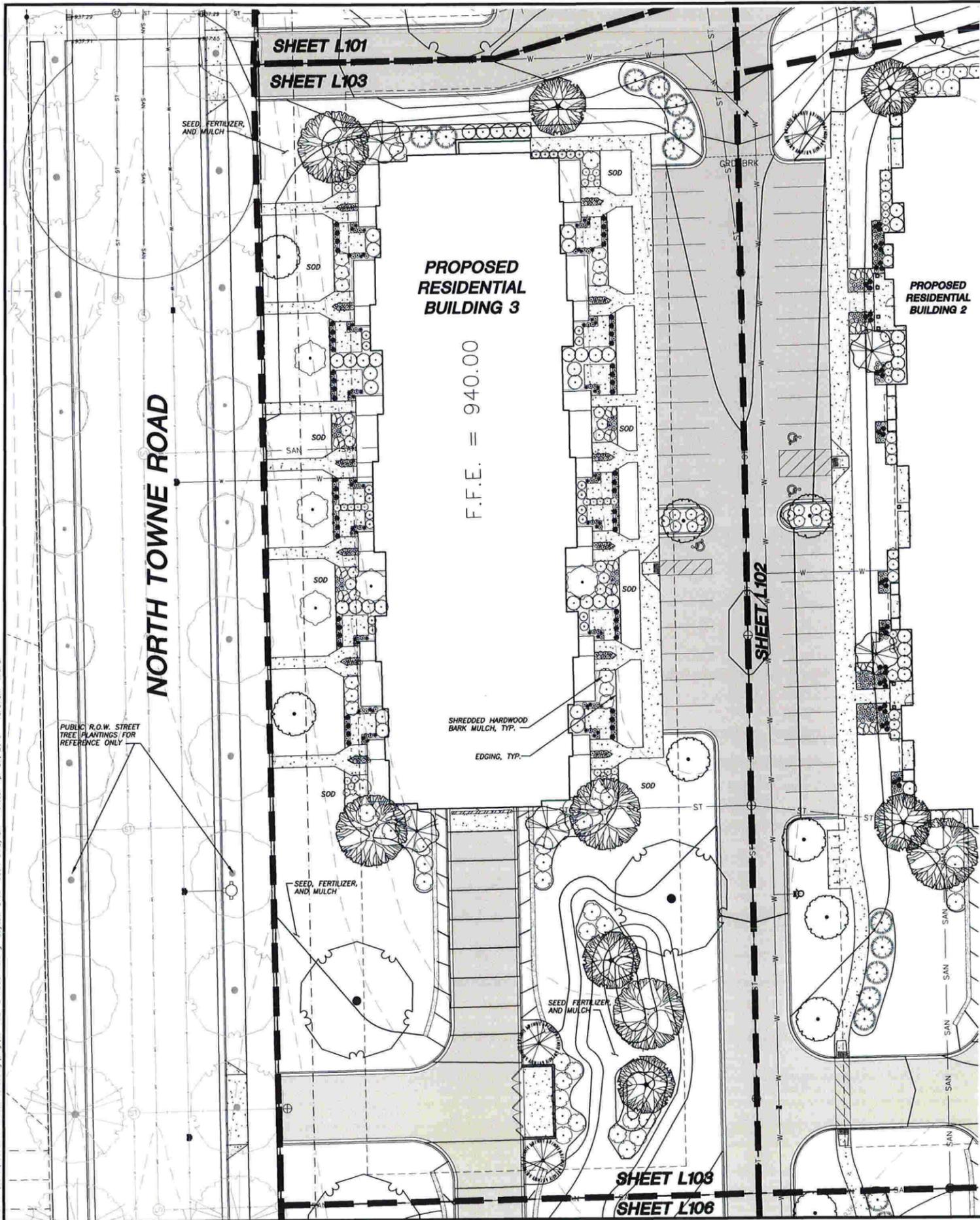
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SHEET TITLE:
**BUILDING 2
LANDSCAPE
PLAN**

SHEET NUMBER:
L102

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LEGEND

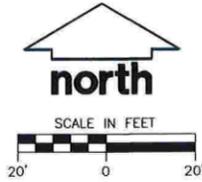
	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	PROPOSED CONCRETE
	PROPOSED ASPHALT PAVEMENT-STANDARD DUTY
	STORM SEWER
	SANITARY SEWER
	WATER UTILITY
	POLYETHYLENE EDGING

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE VILLAGE OF WINDSOR STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
- REFER TO SHEET L200 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.

PLANT SCHEDULE BUILDING 3

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY
	CRA VIR	<i>Cataegus virdis</i> 'Winter King' / Winter King Hawthorn	B & B	1.5"-2.0"	25'	30'	4
	MAL IOW	<i>Malus ioensis</i> / Iowa Crab Apple	B & B	1.5"-2.0"	20'	20'	3
	MAL MAR	<i>Malus</i> x 'Mary Potter' / Crab Apple	B & B	1.5"-2.0"	12'	18'	3
	OST VIR	<i>Ostrya virginiana</i> / American Hopbongbeam	B & B	1.5"-2.0"	25'	15'	4
	QUE SCH	<i>Quercus x schuettei</i> / Swamp Bur Oak	B & B	2.5"cal	80'	80'	2
	THU HI1	<i>Thuja occidentalis</i> 'Hetz Wintergreen' / Hetz Wintergreen Arborvitae	15 gal	6 ft tall min.	25'	8'	7
	THU TR3	<i>Thuja occidentalis</i> 'Trautman' / American Arborvitae	10 gal	6 ft tall min.	30'	15'	2
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY
	ARO MOR	<i>Aronia melanocarpa</i> 'Merton' TM / Inquis Beauty Black Chokeberry	3 gal	Min 2 ft tall	3'	5'	18
	BUX CHI	<i>Buxus</i> x 'ChicagoLind Green' TM / Glensoe Boxwood	3 gal	Min 2 ft tall	3'	5'	12
	BUX G31	<i>Buxus</i> x 'Green Mound' / Green Mound Boxwood	3 gal	Min 2 ft tall	3'	3'	22
	ILE RED	<i>Ilex verticillata</i> 'Red Sprite' / Red Sprite Winterberry	3 gal	Min 2 ft tall	4'	4'	8
	SYM ALB	<i>Symphoricarpos albus</i> / Common White Snowberry	3 gal	Min 2 ft tall	5'	5'	21
	VIB ARR	<i>Viburnum dentatum</i> / Viburnum	3 gal	Min 2 ft tall	6'	6'	41
	VIB AM3	<i>Viburnum opulus</i> 'Americanum Compactum' / European Cranberrybush	3 gal	Min 2 ft tall	6'	6'	12
	VIB NAN	<i>Viburnum opulus</i> 'Nanum' / Dwarf European Viburnum	3 gal	Min 2 ft tall	2'	3'	29
	VIB BLA	<i>Viburnum prunifolium</i> / Blackhaw Viburnum	3 gal	Min 2 ft tall	12'	15'	5
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY
	AGA 236	<i>Agastache foeniculum</i> / Blue Giant Hyssop	4" Pot or Equivalent	CONT	3'	2'	12
	ALL STE	<i>Allium stellatum</i> / Prairie Onion	4" Pot or Equivalent	CONT	1.5'	1.5'	12
	CAR MUS	<i>Carex muskingumensis</i> / Palm Sedge	4" Pot or Equivalent	CONT	2'	1.5'	54
	COR PAL	<i>Cornopsis palmata</i> / Stiff Tickseed	4" Pot or Equivalent	CONT	2'	2'	12
	ECH GRE	<i>Echinacea purpurea</i> 'Green Envy' / Green Envy Coneflower	4" Pot or Equivalent	CONT	3'	3'	18
	EUP LIT	<i>Eupatorium purpureum</i> 'Little Joe' / Dwarf Joe-Pye Weed	4" Pot or Equivalent	CONT	4'	4'	12
	HEU RIC	<i>Heuchera richardsonii</i> / Prairie Alum Root	4" Pot or Equivalent	CONT	2'	2'	12
	MOL MQ2	<i>Molinia caerulea</i> 'Moorheave' / Moor Grass	1 quart pot	CONT	3'	1.5'	52
	PHL BL4	<i>Phlox divaricata</i> 'Blue Moon' / Blue Moon Phlox	4" Pot or Equivalent	CONT	1'	1'	54
	PHY VIR	<i>Physostegia virginiana</i> / Obedient Plant	4" Pot or Equivalent	CONT	4'	4'	12
	PHY ALB	<i>Physostegia virginiana</i> 'Alba' / Obedient Plant White	4" Pot or Equivalent	CONT	4'	4'	24
	RUD SUS	<i>Rudbeckia hirta</i> 'Surfinvanti' / Black-Eyed Susan	4" Pot or Equivalent	CONT	3'	3'	12
	RUD TRI	<i>Rudbeckia triloba</i> / Bronzed Eye Susan	4" Pot or Equivalent	CONT	3'	3'	12
	STA H13	<i>Stachys officinalis</i> 'Hummelo' / Hummelo Stachys	4" Pot or Equivalent	CONT	2'	2'	24



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PROJECT:
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 DEVELOPMENT**

PROJECT LOCATION:
 VILLAGE OF WINDSOR
 DANE COUNTY, WI

JSD PROJECT NO.: 15-7027

SEAL/SIGNATURE:

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DESIGN: KAS 03-02-2016
 DRAWN: KAS 03-02-2016
 APPROVED:

PLAN MODIFICATIONS:	DATE:
VILLAGE SUBMITTAL	03-02-2016
VILLAGE SUBMITTAL	04-07-2016
VILLAGE SUBMITTAL	04-07-2016

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SHEET TITLE:
**BUILDING 3
 LANDSCAPE
 PLAN**

SHEET NUMBER:
L103

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PROJECT:
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PROJECT LOCATION:
 VILLAGE OF WINDSOR
 DANE COUNTY, WI

JSD PROJECT NO.: 15-7027

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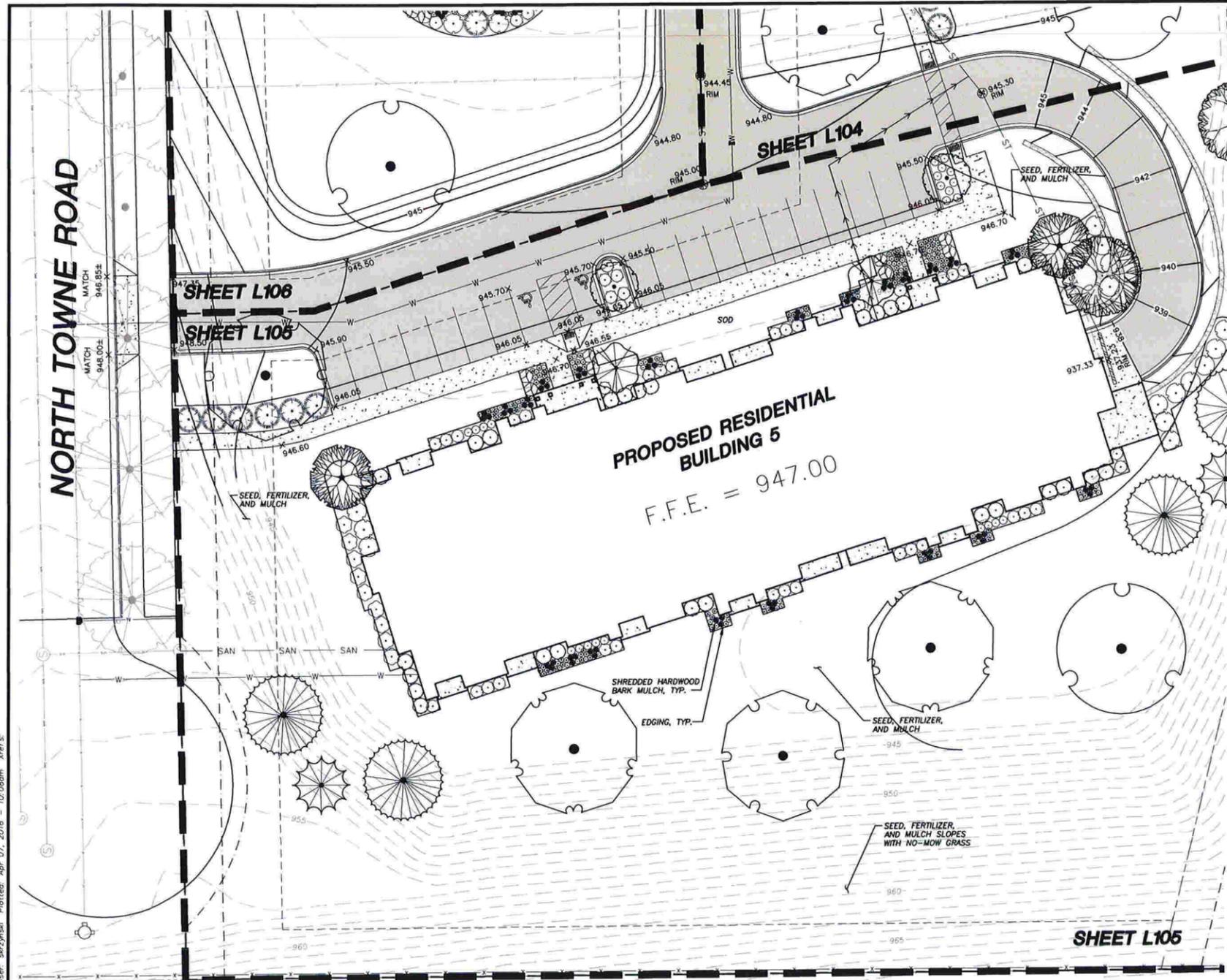
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VILLAGE SUBMITTAL	03-02-2016
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SHEET TITLE:
**BUILDING 5
 LANDSCAPE
 PLAN**

SHEET NUMBER:
L105

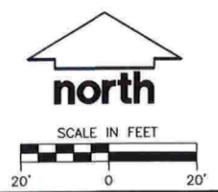


PLANT SCHEDULE BUILDING 5							
TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY
	CRA VIR	Crataegus viridis / Winter King / Winter King Hawthorn	B & B	1.5'-2'0"	25'	30'	1
	MAL IDW	Malus ioensis / Iowa Crab Apple	B & B	1.5'-2'0"	20'	20'	2
	MAL MAR	Malus x 'Mary Potter' / Crab Apple	B & B	1.5'-2'0"	12'	18'	2
	OST VIR	Ostrya virginiana / American Hophornbeam	B & B	1.5'-2'0"	25'	15'	2
	PIC GLA	Picea glauca / White Spruce	15 gal	6 ft tall min.	50'	15'	2
	PIN STR	Pinus strobus / White Pine	15 gal	2.5' Cal	75'	30'	4
	PRU SAR	Prunus sargentii / Sargent Cherry	B & B	1.5'-2'0"	30'	30'	1
	QUE MUE	Quercus muehlenbergii / Chinkapin Oak	B & B	2.5' Cal	75'	75'	1
	QUE RUB	Quercus rubra / Red Oak	B & B	2.5' Cal	75'	75'	2
	QUE SCH	Quercus x schottii / Swamp Bur Oak	B & B	2.5' Cal	80'	80'	2
	THU HI1	Thuja occidentalis 'Helz Wintergreen' / Helz Wintergreen Arborvitae	15 gal	6 ft tall min.	25'	6'	6
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY
	ARO MOR	Aronia melanocarpa 'Morton TM' / Iquois Beauty Black Chokeberry	3 gal	Min. 2 ft tall	3'	5'	40
	ILE RED	Ilex verticillata 'Red Sprite' / Red Sprite Winterberry	3 gal	Min. 2 ft tall	4'	4'	8
	SYM ALB	Symphoricarpos albus / Common White Snowberry	3 gal	Min. 2 ft tall	5'	5'	28
	VIB ARR	Viburnum dentatum / Viburnum	3 gal	Min. 2 ft tall	6'	6'	18
	VIB AM3	Viburnum opulus 'Americanum Compactum' / European Cranberrybush	3 gal	Min. 2 ft tall	6'	6'	9
	VIB NAN	Viburnum opulus 'Nanum' / Dwarf European Viburnum	3 gal	Min. 2 ft tall	2'	3'	23
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY
	AGA 238	Agastache penicillata / Blue Giant Hyssop	4" Pot or Equivalent	CONT	3'	2'	19
	ALL STE	Allium stellatum / Prairie Onion	4" Pot or Equivalent	CONT	1.5'	1.5'	24
	ECH ALB	Echinacea purpurea 'Alba' / White Coneflower	4" Pot or Equivalent	CONT	3'	3'	16
	ECH GRE	Echinacea purpurea 'Green Envy' / Green Envy Coneflower	4" Pot or Equivalent	CONT	3'	3'	10
	EUP LIT	Eupatorium purpureum 'Little Joe' / Dwarf Joe-Pye Weed	4" Pot or Equivalent	CONT	4'	4'	5
	HEU RIC	Heuchera richardsonii / Prairie Alum Root	4" Pot or Equivalent	CONT	2'	2'	11
	MOL MO2	Molinia caerulea 'Moorhere' / Moor Grass	1 quart pot	CONT	3'	1.5'	63
	PHL BL4	Phlox divaricata 'Blue Moon' / Blue Moon Phlox	4" Pot or Equivalent	CONT	1'	1'	15
	PHY VIR	Physostegia virginiana / Obedient Plant	4" Pot or Equivalent	CONT	4'	4'	5
	PHY ALB	Physostegia virginiana 'Alba' / Obedient Plant White	4" Pot or Equivalent	CONT	4'	4'	15
	RUD TRI	Rutbeckia triloba / Browneyed Susan	4" Pot or Equivalent	CONT	3'	3'	29
	STA HI3	Stachys officinalis 'Hummels' / Hummels Stachys	4" Pot or Equivalent	CONT	2'	2'	12

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	PROPOSED CONCRETE
	PROPOSED ASPHALT PAVEMENT-STANDARD DUTY
	ST STORM SEWER
	SAN SANITARY SEWER
	W WATER UTILITY
	POLYETHYLENE EDGING

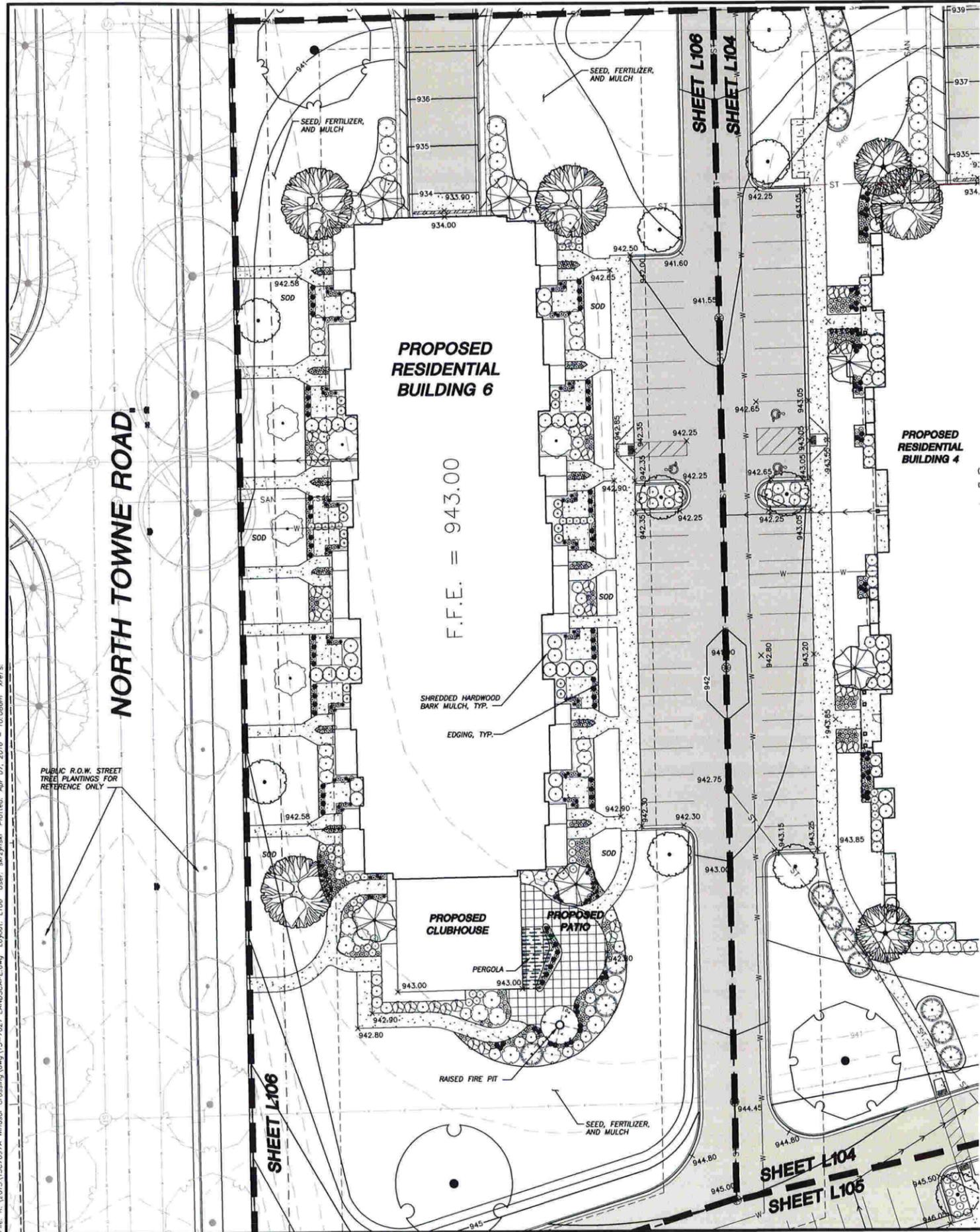
- GENERAL NOTES**
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 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
 - THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
 - REFER TO SHEET L200 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN



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LEGEND

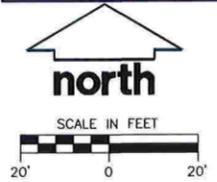
- PROPERTY LINE
- - - RIGHT-OF-WAY
- EASEMENT LINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT-STANDARD DUTY
- ST STORM SEWER
- SAN SANITARY SEWER
- W WATER UTILITY
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GENERAL NOTES

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PLANT SCHEDULE BUILDING 6

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY
	GRA VIR	<i>Crataegus viciifolia</i> 'Winter King' / Winter King Hawthorn	B & B	1.5'-2'0"	25'	30'	3
	MAL MAR	<i>Malus x 'Mary Potter'</i> / Crab-Apple	B & B	1.5'-2'0"	12'	18'	4
	OST VIR	<i>Ostrya virginiana</i> / American Hophornbeam	B & B	1.5'-2'0"	25'	15'	5
	QUE MUE	<i>Quercus muhlenbergii</i> / Chinkapin Oak	B & B	2.5'CAL	75'	75'	1
	QUE SCH	<i>Quercus x schuettii</i> / Swamp Bur Oak	B & B	2.5'CAL	80'	60'	1
	THU HI1	<i>Thuja occidentalis</i> 'Hotz Wintergreen' / Hotz Wintergreen Arborvitae	15 gal	6.8 tall min	25'	6'	3
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY
	ARO MOR	<i>Aronia melanocarpa</i> 'Morton' TM / Inquis Beauty Black Chokeberry	3 gal	Min. 2 ft tall	3'	5'	35
	BUX CHI	<i>Buxus x 'Chicagoland Green'</i> TM / Glencoe Boxwood	3 gal	Min. 2 ft tall	3'	5'	12
	BUX G31	<i>Buxus x 'Green Mound'</i> / Green Mound Boxwood	3 gal	Min. 2 ft tall	3'	3'	16
	I.E VER	<i>Ilex verticillata</i> 'Jim Dandy' / Jim Dandy Winterberry	3 gal	Min. 2 ft tall	5'	5'	6
	I.E RED	<i>Ilex verticillata</i> 'Red Sprite' / Red Sprite Winterberry	3 gal	Min. 2 ft tall	4'	4'	17
	SYM ALB	<i>Symphoricarpos albus</i> / Common White Snowberry	3 gal	Min. 2 ft tall	5'	5'	16
	VIB ARR	<i>Viburnum dentatum</i> / Viburnum	3 gal	Min. 2 ft tall	6'	6'	29
	VIB AM3	<i>Viburnum opulus</i> 'Americanum Compactum' / European Cranberrybush	3 gal	Min. 2 ft tall	6'	6'	15
	VIB NAN	<i>Viburnum opulus</i> 'Nanum' / Dwarf European Viburnum	3 gal	Min. 2 ft tall	2'	3'	41
	VIB BLA	<i>Viburnum prunifolium</i> / Blackhaw Viburnum	3 gal	Min. 2 ft tall	12'	15'	5
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY
	AGA Z38	<i>Agastache foeniculum</i> / Blue Giant Hyssop	4" Pot or Equivalent	CONT	3'	2'	17
	ALL STE	<i>Allium stellatum</i> / Prairie Onion	4" Pot or Equivalent	CONT	1.5'	1.5'	12
	CAR MUS	<i>Carex muskingumensis</i> / Palm Sedge	4" Pot or Equivalent	CONT	2'	1.5'	84
	COR PAL	<i>Coreopsis palmata</i> / Stiff Tickseed	4" Pot or Equivalent	CONT	2'	2'	20
	ECH ALB	<i>Echinacea purpurea</i> 'Alba' / White Coneflower	4" Pot or Equivalent	CONT	3'	3'	16
	ECH GRE	<i>Echinacea purpurea</i> 'Green Envy' / Green Envy Coneflower	4" Pot or Equivalent	CONT	3'	3'	30
	EUP LIT	<i>Eupatorium purpureum</i> 'Little Joe' / Dwarf Joe-Pye Weed	4" Pot or Equivalent	CONT	4'	4'	18
	HEU RIC	<i>Heuchera richardsonii</i> / Prarie Alum Root	4" Pot or Equivalent	CONT	2'	2'	29
	MCL M02	<i>Molinia caerulea</i> 'Moorhexe' / Moor Grass	1 quart pot	CONT	3'	1.5'	76
	PHL BL4	<i>Phlox divaricata</i> 'Blue Moon' / Blue Moon Phlox	4" Pot or Equivalent	CONT	1'	1'	62
	PHY VIR	<i>Physostegia virginiana</i> / Obelisk Plant	4" Pot or Equivalent	CONT	4'	4'	12
	PHY ALB	<i>Physostegia virginiana</i> 'Alba' / Obelisk Plant White	4" Pot or Equivalent	CONT	4'	4'	52
	RUD SUS	<i>Rudbeckia fulgida sultivanti</i> / Black-Eyed Susan	4" Pot or Equivalent	CONT	3'	3'	12
	RUD TRI	<i>Rudbeckia triloba</i> / Bronzed Susan	4" Pot or Equivalent	CONT	3'	3'	12
	STA H13	<i>Stachys officinalis</i> 'Hummelo' / Hummelo Stachys	4" Pot or Equivalent	CONT	2'	2'	54



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PROJECT:
**WINDSOR CROSSING
 MULTI-FAMILY
 DEVELOPMENT**

PROJECT LOCATION:
 VILLAGE OF WINDSOR
 DANE COUNTY, WI
 JSD PROJECT NO.: 15-7027

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: KAS 03-02-2016
 DRAWN: KAS 03-02-2016
 APPROVED:

PLAN MODIFICATIONS:	DATE:
VILLAGE SUBMITTAL	03-02-2016
VILLAGE SUBMITTAL	04-07-2016
VILLAGE SUBMITTAL	04-07-2016

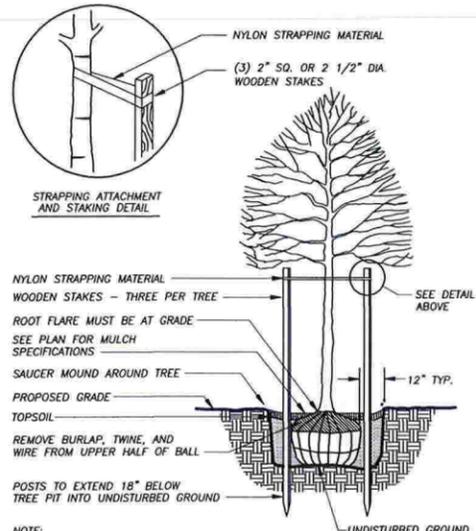
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SHEET TITLE:
**BUILDING 6
 LANDSCAPE
 PLAN**

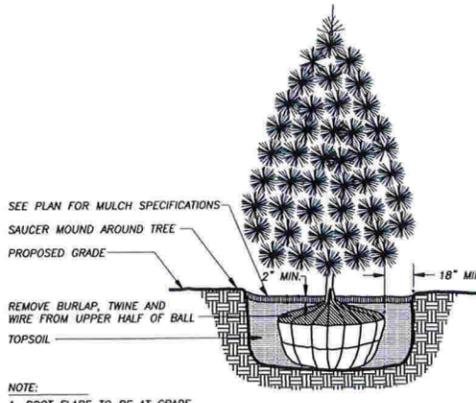
SHEET NUMBER:
L106

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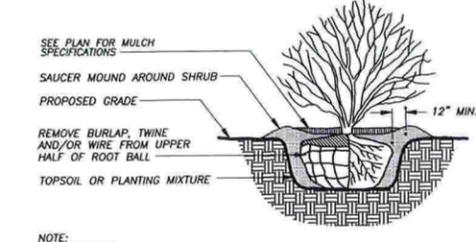
NOTE:
 1. ROOT FLARE TO BE EXPOSED.
 2. DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE.
 3. ROOT BALL TO BE SET ON UNDISTURBED GROUND.

1 DECIDUOUS TREE PLANTING DETAIL
 L200 N.T.S.



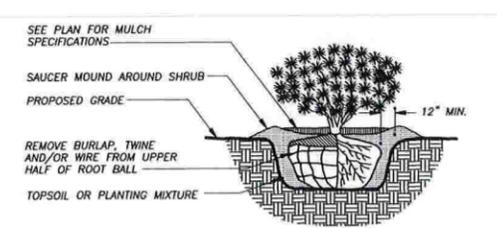
NOTE:
 1. ROOT FLARE TO BE AT GRADE.
 2. DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE.

2 EVERGREEN TREE PLANTING DETAIL
 L200 N.T.S.



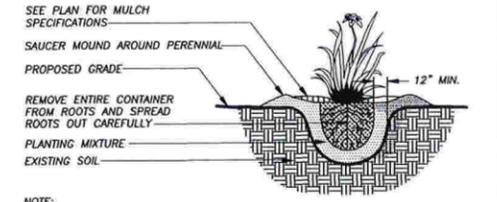
NOTE:
 1. ROOT FLARE TO BE EXPOSED.
 2. DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE.

3 DECIDUOUS SHRUB PLANTING DETAIL
 L200 N.T.S.



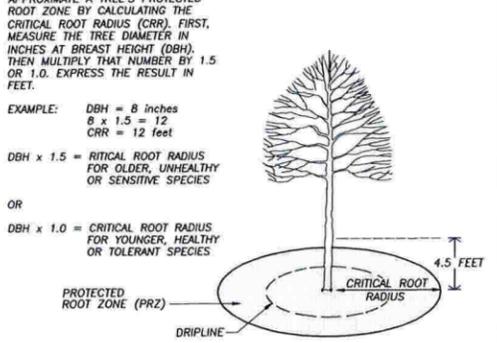
NOTE:
 1. ROOT FLARE TO BE EXPOSED.
 2. DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE.

4 EVERGREEN SHRUB PLANTING DETAIL
 L200 N.T.S.

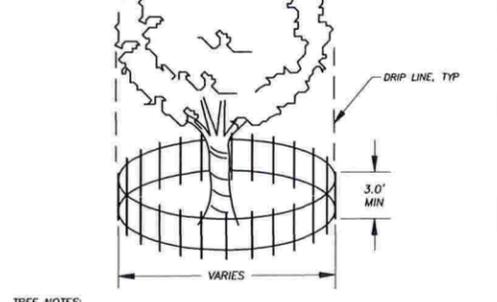


NOTE:
 1. ROOT FLARE TO BE EXPOSED

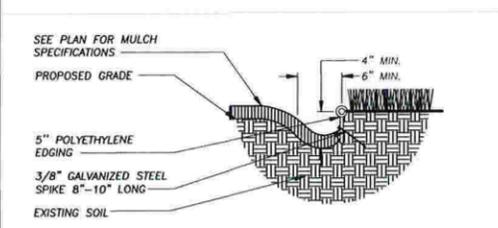
5 PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL
 L200 N.T.S.



TREE NOTES:
 1. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA SURROUNDING THE TREE WITHIN THE CRITICAL ROOT RADIUS.
 2. NO EXCAVATION IS PERMITTED WITHIN THE CRITICAL ROOT RADIUS.
 3. IF EXCAVATION WITHIN THE CRITICAL ROOT RADIUS OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTER PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.



6 TREE PROTECTION DETAIL
 L200 N.T.S.



7 LANDSCAPE EDGING DETAIL
 L200 N.T.S.

LANDSCAPE NOTES AND SPECIFICATIONS

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE VILLAGE OF WINDSOR REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY, IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPAIR DAMAGE TO OTHER PLANTS OR PLANTING AREAS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- MATERIALS - SOIL: PLANTING SOIL SHALL MEET THESE REQUIREMENTS:
 A. PLANTING AREAS = 24"
 B. TREE PITS = SEE DETAILS
- PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS SHALL RECEIVE SHREDDED, WEED-FREE HARDWOOD BARK MULCH INSTALLED TO A CONSISTENT DEPTH OF 4" OVER ENTIRE PLANTING AREA, UNLESS OTHERWISE SPECIFIED ON PLANS. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDING LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5' DIAMETER SHREDDED HARDWOOD MULCH TREE RING SPREAD MULCH TO A CONSISTENT DEPTH OF 4 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE SHOULD BE MIXED WITH MULCH WHEN INSTALLING TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- MATERIALS - WEED BARRIER FABRIC: ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- MATERIALS - SEED: DISTURBED LAWN AREAS LABELED ON PLAN FOR SEEDING SHALL BE HAND SEEDED WITH EARTH CARPET'S 'MADISON PARKS' (OR APPROVED EQUIVALENT) AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- MATERIALS - SEED: DISTURBED LAWN AREAS LABELED AND DELINEATED ON PLAN SHALL BE SEEDED WITH 'NO MOW' FESCUE OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- MATERIALS: SOD ALL AREAS LABELED ON PLAN PER THESE NOTES: TURFGRASS SOD: CLASS OF TURFGRASS SOD SHALL BE PREMIUM GRADE APPROVED TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT IT CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPORTED WITH A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO .5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CONDITION SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDING AREAS AND SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 60 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

File: R:\2015\1507097A Windsor Crossing\img\15-7027 LANDSCAPE.dwg Layout: L200 User: skrzymski Plotted: Apr 07, 2016 10:05am xref's

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PROJECT:
WINDSOR CROSSING MULTI-FAMILY DEVELOPMENT

PROJECT LOCATION:
 VILLAGE OF WINDSOR
 DANE COUNTY, WI

JSD PROJECT NO.: 15-7027

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SHEET TITLE:
LANDSCAPE DETAILS, NOTES, AND SPECIFICATIONS

SHEET NUMBER:
L200

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MRP LED

LED Area Luminaire



Catalog
Number

Notes

Type

A

Hit the Tab key or mouse over the page to see all interactive elements.

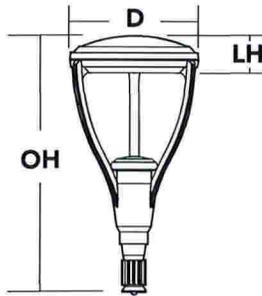
Introduction

The Omero™ family of luminaires blends a traditional round dayform with contemporary, low-profile styling to accent architectural elements in a variety of applications.

The MRP LED combines the latest in LED technology with the designer aesthetic of the Omero™ family for stylish, high-performance illumination that lasts. The MRP LED is ideal for replacing 100-250W metal halide in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Specifications

EPA:	1.125 ft ² (0.105 m ²)
Luminaire Height:	6-3/8" (16.2 cm)
Overall Height:	32" (81.3 cm)
Diameter:	18" (45.7 cm)
Weight (max):	37.5 lbs (17 kg)



Ordering Information

EXAMPLE: MRP LED 42C 700 40K SR5 MVOLT DDBXD

MRP LED

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting	
MRP LED	42C 42 LEDs (one engine)	530 530mA	30K 3000K	SR2 Type II	MVOLT ¹ 277 ¹	Shipped included (blank) Fits 4" OD round pole Shipped separately² MRPT20 2-3/8" tenon slipfitter MRPT25 2-7/8" tenon slipfitter	
		700 700mA	40K 4000K	SR3 Type III	120 ¹ 347		MRPT30 3-1/2" tenon slipfitter
		1000 1000mA (1A)	50K 5000K	SR4 Type IV	208 ¹ 480		MRPT35 4" tenon slipfitter
				SR5 Type V	240 ¹		MRPF3 3" OD round pole adapter
							MRPF5 5" OD round pole adapter ³

Control options	Other options	Finish (required)
Shipped installed PER NEMA twist-lock receptacle only (no controls) PER5 Five-wire receptacle only (no controls) ⁴ PER7 Seven-wire receptacle only (no controls) ⁴ DMG 0-10V dimming driver (no controls) ⁵ BL30 Bi-level switched dimming, 30% ^{6,7} BL50 Bi-level switched dimming, 50% ^{6,7}	SF Single fuse (120, 277, 347V) ¹ DF Double fuse (208, 240, 480V) ¹ DFL Diffusing lens	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ⁸
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ⁸
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ⁸
SC U	Shorting cap ⁸
MRPT20 DDBXD U	2-3/8" tenon slipfitter (specify finish)
MRPT25 DDBXD U	2-7/8" tenon slipfitter (specify finish)
MRPT30 DDBXD U	3-1/2" tenon slipfitter (specify finish)
MRPT35 DDBXD U	4" tenon slipfitter (specify finish)
MRPF3 DDBXD U	3" OD round pole adapter (specify finish)
MRPF5 DDBXD U	5" OD round pole adapter (specify finish) ⁸

For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Single fuse (SF) requires 120 or 277 voltage option. Double fuse (DF) requires 208 or 240 voltage option.
- Also available as a separate accessory; see Accessories information at left.
- Maximum pole wall thickness is 0.156".
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls.
- Not available with 347 or 480V.
- Requires an additional switched line.
- Dimming driver standard. Not available with 347V, 480V, SF, DF, PER5 or PER7.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	40 K (4000 K, 70 CRI)				
				Lumens	B	U	G	LPW
42C (42 LEDs)	530	75W	SR2	6,605	1	2	1	88
			SR3	6,581	1	1	2	88
			SR4	6,537	1	1	2	87
			SR5	6,959	3	1	3	93
			SR2	8,026	2	2	2	80
	700	100W	SR3	7,997	1	2	2	80
			SR4	7,943	1	2	2	79
			SR5	8,456	3	2	3	85
			SR2	9,885	2	2	2	65
			SR3	9,848	2	2	2	65
	1000	151W	SR4	9,782	2	2	2	65
			SR5	10,414	4	2	4	69

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.06
10°C	50°F	1.04
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.96

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **MRP LED 42C 700** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

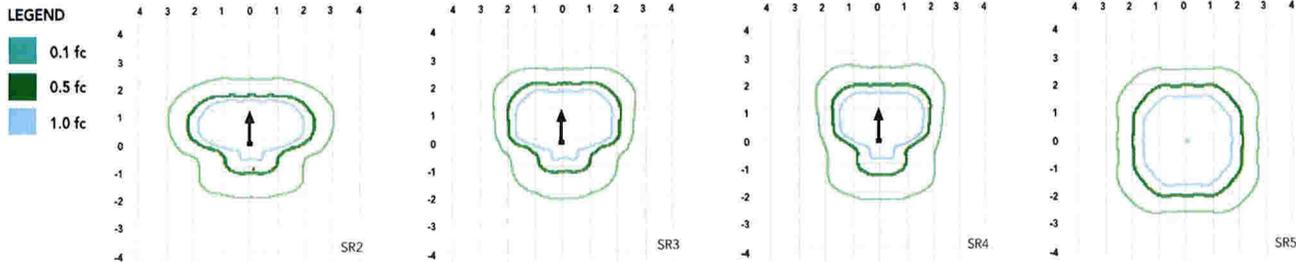
To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.96	0.92	0.85

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [MRP LED homepage](#).

Isofootcandle plots are considered to be representative of available optical distributions.



FEATURES & SPECIFICATIONS

INTENDED USE

Streets, walkways, parking lots and surrounding areas.

CONSTRUCTION

Single-piece die-cast aluminum housing with nominal wall thickness of .012". Die-cast top access doorframe has impact-resistant, tempered glass lens (3/16" thick). Doorframe is fully gasketed with one-piece tubular silicone.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum and white. Available in textured and non-textured finishes.

OPTICS

Precision acrylic refractive optics for optimum light distribution through the flat glass lens. Light engines are available in standard 4000K or optional 3000K or 5000K (70 CRI) configurations.

ELECTRICAL

Light engine consists of 42 high-efficacy LEDs mounted to a metal-core circuit board and aluminum heat sink, ensuring optimal thermal management and long life. Class 1 electronic driver has a power factor >90%, THD <20%, and has an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low for operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Standard post-top mounting configuration fits into a 4" OD open pole top (round pole only). Multiple options and accessories are available for other mounting needs.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. Rated for -40°C minimum ambient. **U.S. Patent No. D556,357.**

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



Catalog Number
Notes
Type C

FEATURES & SPECIFICATIONS

INTENDED USE

Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and stairways for safety and security.

CONSTRUCTION

Cast-aluminum housing with corrosion-resistant paint in either dark bronze or white finish.

ADA compliant.

OPTICS

4000K CCT LEDs.

Polycarbonate lens protects the LED from moisture, dirt and other contaminants.

LUMEN MAINTENANCE: The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See Lighting Facts label on page 2 for performance details.

ELECTRICAL

MVOLT driver operates on any line voltage from 120-277V

Operating temperature -30°C to 40°C.

1KV surge protection standard.

INSTALLATION

Surface mounts to universal junction box (provided by others).

LISTINGS

UL Listed to U.S. and Canadian safety standards for wet locations.

Tested in accordance with IESNA LM-79 and LM-80 standards.

WARRANTY

Five-year limited warranty. Full warranty terms located at www.AcuityBrands.com/CustomerResources/Terms_and_Conditions.aspx.

Note: Specifications are subject to change without notice.

Actual performance may differ as a result of end-user environment and application.

Outdoor General Purpose

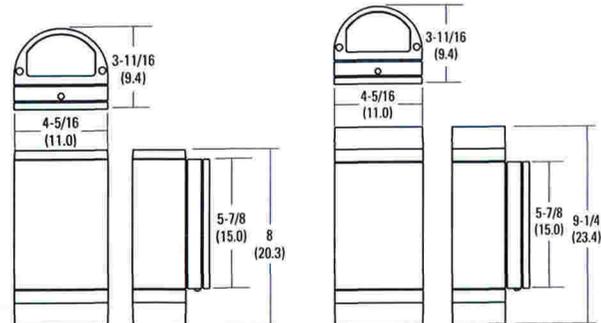
OLLWD & OLLWU

LED WALL CYLINDER LIGHT



Specifications

All dimensions are inches (centimeters)



ORDERING INFORMATION

For shortest lead times, configure products using **bolded options**.

Example: OLLWD

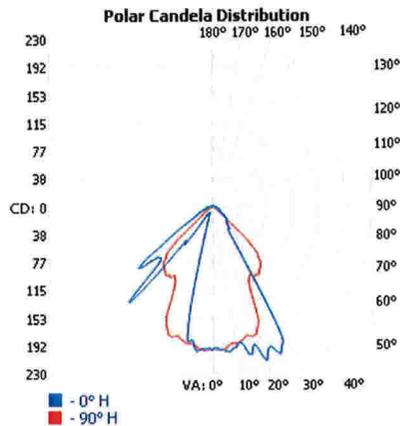
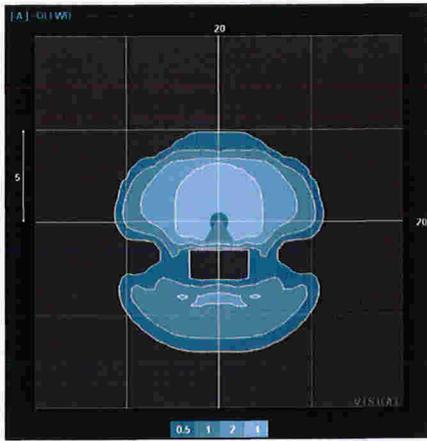
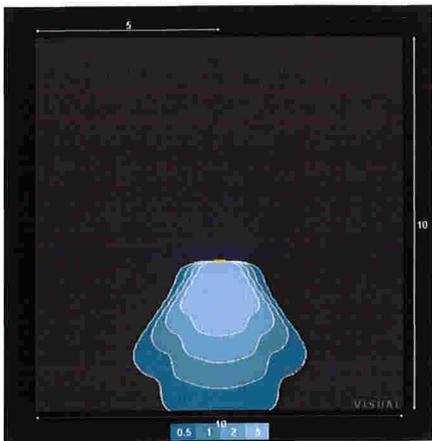
Series	Color temperature (CCT)	Voltage	Finish
OLLWD Downlight	(blank) 4000K	(blank) MVOLT (120V-277V)	DDB Dark bronze
OLLWU Up & downlight			WH White

OLLWD & OLLWU LED Wall Cylinder Light

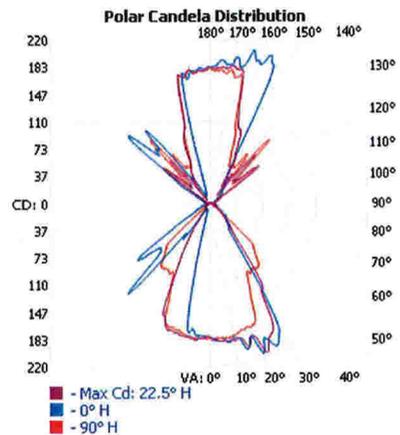
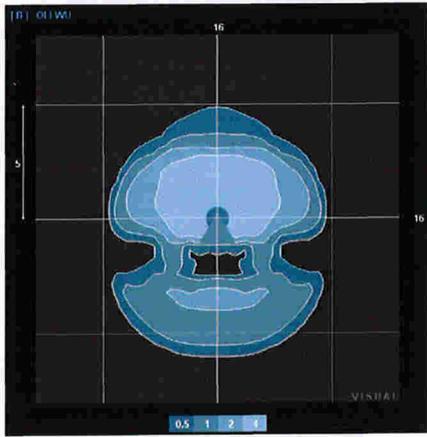
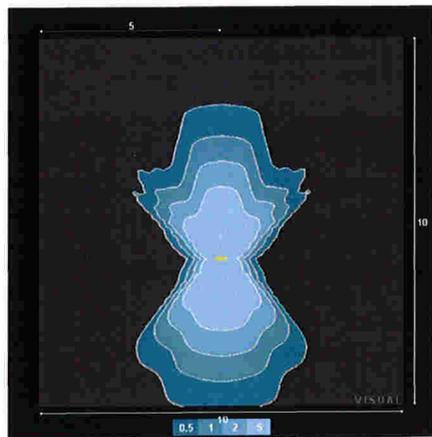
PHOTOMETRICS

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's Outdoor LED homepage
 Tested in accordance with IESNA LM-79 and LM-80 standards.

OLLWD



OLLWU



OLLWD

LED lighting facts
 A Program of the U.S. DOE

Light Output (Lumens)	270
Watts	9
Lumens per Watt (Efficacy)	30

Color Accuracy
 Color Rendering Index (CRI) 75

Light Color
 Correlated Color Temperature (CCT) 4000 (Bright White)

Warm White 3000K Bright White 4500K Daylight 6500K

All results are according to IESNA LM-79-2003, Approved Method for the Electrical and Photometric Testing of Solid State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

Visit www.lightingfacts.com for the Label Reference Guide.

Registration Number: N23M-549812 (9/28/2012)
 Model Number: OLLWD
 Type: Outdoor wall-mounted porch light

OLLWU

LED lighting facts
 A Program of the U.S. DOE

Light Output (Lumens)	500
Watts	14
Lumens per Watt (Efficacy)	34

Color Accuracy
 Color Rendering Index (CRI) 74

Light Color
 Correlated Color Temperature (CCT) 4000 (Bright White)

Warm White 3000K Bright White 4500K Daylight 6500K

All results are according to IESNA LM-79-2003, Approved Method for the Electrical and Photometric Testing of Solid State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

Visit www.lightingfacts.com for the Label Reference Guide.

Registration Number: N23M-549812 (9/28/2012)
 Model Number: OLLWU
 Type: Outdoor wall-mounted porch light



OLLWD-OLLWU



LED 52W Wallpacks. 3 cutoff options. Patent Pending thermal management system. 100,000 hour L70 lifespan. 5 Year Warranty.

Color: Bronze

Weight: 17.6 lbs

Project:	Type: C
Prepared By:	Date:

Driver Info		LED Info	
Type:	Constant Current	Watts:	52W
120V:	0.51A	Color Temp:	4000K (Neutral)
208V:	0.33A	Color Accuracy:	82 CRI
240V:	0.29A	L70 Lifespan:	100000
277V:	0.24A	Lumens:	4,584
Input Watts:	60W	Efficacy:	76 LPW
Efficiency:	87%		

Technical Specifications

Listings

UL Listing:

Suitable for wet locations.

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

DLC Product Code: P00001742

Optical

Lumen Maintenance:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Replacement:

The WPLED52 replaces 250W HID Wallpacks.

BUG Rating:

B0 U2 G3

LED Characteristics

LEDs:

Two (2) multi-chip, high-output, long-life LEDs.

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated color temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2015.

Electrical

Drivers:

Two drivers, constant current, 720mA, Class 2, 100 - 277V, 50 - 60 Hz, 100 - 277VAC .8 Amps.

THD:

13.0% at 120V

Surge Protection:

6kV

Construction

Ambient Temperature:

Suitable for use in 40°C ambient temperatures.

Cold Weather Starting:

The minimum starting temperature is -40°F/-40°C.

Thermal Management:

Cast aluminum Thermal Management system for optimal heat sinking. The WPLED is designed for cool operation, most efficient output and maximum LED life by minimizing LED junction temperature.

Housing:

Precision die cast aluminum housing, lens frame.

Mounting:

Die-cast aluminum wall bracket with (5) 1/2" conduit openings with plugs. Two-piece bracket with tether for ease of installation and wiring.

Arm:

Die-cast aluminum with wiring access plate.

Cutoff:

Standard (15°)

Reflector:

Specular vacuum-metallized polycarbonate

Gaskets:

High temperature silicone.

Lens:

Tempered glass

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

Green Technology:

WPLEDs are Mercury and UV free.

Other

California Title 24:

See WPLED52/BL for a 2013 California Title 24 compliant product. Any additional component requirements will be listed in the Title 24 section under technical specifications on the product page.

Technical Specifications (continued)

Other

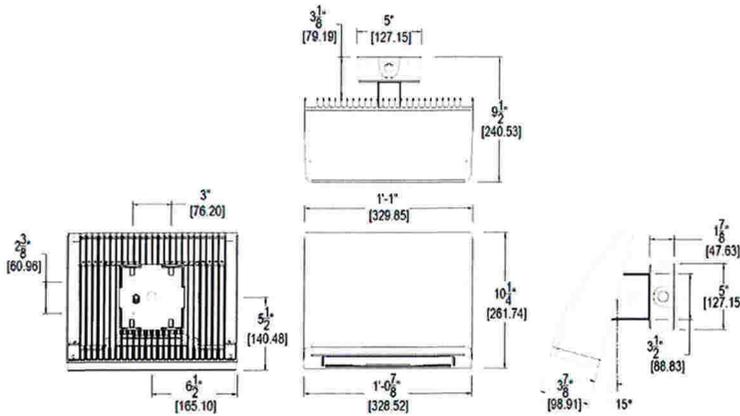
Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish.

Patents:

The WPLED design is protected by patents in the U.S. Pat D653,377, Canada Pat. 142252, China Pat. ZL201130356930.8, and Mexico Pat. 36921 and pending patent in TW.

Dimensions



Features

- High performance LED light engine
- Maintains 70% of initial lumens at 100,000 hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins
- Replaces 250W MH
- Traditional wallpack look from the front
- 3 cutoff options
- 5-year warranty

Ordering Matrix

Family	Cutoff	Watts	Color Temp	Finish	Voltage	Photocell	Bi-Level	Dimming
WPLED	= Standard C = Cutoff FC = Full Cutoff	52 = 52W	= 5000K (Cool) Y = 3000K (Warm) N = 4000K (Neutral)	= Bronze W = White	= 120-277V /480 = 480V	= Photocell /PCS = 120V Swivel /PCS2 = 277V Swivel /PCS4 = 480V Swivel	= No Bi-Level /BL = Bi-Level	= No Dimming /D10 = Dimmable